

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 28, 2020 AT 6:00 PM VIA ZOOM

IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING, SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN TONIGHT'S PLANNING AND ZONING COMMISSION WORK SESSION MEETING ARE AS FOLLOWS:

SUBMIT COMMENTS VIA EMAIL

Citizens are encouraged to submit public forum comments at least 30 minutes in advance of the meeting by emailing them to Planning@Rockwall.com. Please include your name and address when submitting comments. Also, please be concise and limit your comments so that it may be read within three (3) minutes.

CITIZENS WATCHING THE MEETING

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APPLICANTS AND CITIZENS PARTICIPATING IN THE MEETING

Applicants and citizens that wish to participate in the meeting virtually by joining with ZOOM, either via a computer, mobile device, and or telephone should follow the following instructions:

- (1) Register in advance to participate in the Planning and Zoning Commission Work Session meeting at this link: https://us02web.zoom.us/webinar/register/WN_qCQILHbvTrmTKPdD_xjmmw
- (2) After registering, you will receive a confirmation email containing information about joining the meeting. Alternatively, you can join via telephone at:

US: (301) 715-8592 or (312) 626-6799 or (888) 788-0099
Webinar ID: 883-0444-4100

NOTE: Once the agenda item you would like to speak on has been presented by staff, you may hit the raise hand button (or press *9 for telephone participants) to request to speak or to cancel your request. You will be acknowledged and prompted to provide comments when it is your turn to speak during the meeting.

SPECIAL NOTES: Only the two-way 'audio' feature of ZOOM will be utilized during the meeting. No ZOOM video will be used. If you are watching remotely via the live stream, please note there is a seven (7) second delay, whereas, ZOOM is in real time.

(I) CALL TO ORDER

(II) OPEN FORUM

(III) APPOINTMENTS

- (1) Appointment with the Director of Planning and Zoning to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(IV) CONSENT AGENDA

- (2) Approval of Minutes for the April 14, 2020 Planning and Zoning Commission meeting.
- (3) **P2020-018 (DAVID GONZALES)**
Consider a request by Matthew Gardner of Halff Associates on behalf of Reid Caldwell for the approval of a Replat for Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition being a 0.7.02-acre parcel of land identified as Lot 1, Block D, Ellis Centre, Phase Two

Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the terminus of Alpha Drive, and take any action necessary.

(V) PUBLIC HEARING ITEMS

(4) **Z2020-009 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

(5) **Z2020-010 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage and height* on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

(6) **Z2020-012 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejjan for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

(7) **Z2020-014 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

(8) **Z2020-015 (RYAN MILLER) [APPLICANT REQUESTING WITHDRAWAL]**

Hold a public hearing to discuss and consider a request by Stephen Doyle of Structured Real Estate on behalf of Luke Alverson of Capstar Holding Corporation for the approval of a Zoning Change from a Commercial (C) District and a Light Industrial (LI) District to a Planned Development District (PD) for a 55.80-acre tract of land identified as Tract 22, 22-2, & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

(VI) ACTION ITEMS

(9) **SP2020-004 (DAVID GONZALES)**

Discuss and consider a request by Jason Miller of Boucher Design Group on behalf of Peter Sisan of SDI Rockwall Holdings, LLC for the approval of a Site Plan for a *strip retail center* on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

(10) **SP2020-006 (RYAN MILLER) [POSTPONED TO THE MAY 12, 2020 PLANNING AND ZONING COMMISSION MEETING]**

Discuss and consider a request by Jared Helmlinger, PE of Epsilon Land Development on behalf of Jim Vaudagna of Dallas East for the approval of a Site Plan for a *strip retail center and daycare facility* on a 6.28-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

(VII) DISCUSSION ITEMS

(11) **Z2020-011 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Marlyn Roberts for the approval of a Specific Use Permit (SUP) for an *accessory building that exceeds the maximum square footage and height* on an 0.1865-acre parcel of land identified as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 323 Julian Drive, and take any action necessary.

(12) **Z2020-016 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

(13) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2020-012: Replat for Lots 4 & 5, Block A, Landing Point Addition **(APPROVED)**
- P2020-013: Final Plat for Lots 1 & 2, Block A, Shoreline Marriott Addition **(APPROVED)**
- P2020-014: Replat for Lot 2, Block B, Harbor District Addition **(APPROVED)**
- P2020-015: Replat for Lot 24, Block A, Presbyterian Hospital of Rockwall Addition **(APPROVED)**
- P2020-016: Replat for Lot 1, Block L, Lake Rockwall Properties Development No. 2 Addition **(APPROVED)**
- P2020-017: Replat for Lot 9, Block A, Lakeshore Commons Addition **(APPROVED)**
- MIS2020-006: Exception to the Undergrounding Requirements for Utilities for the Northgate Subdivision **(APPROVED)**

(VIII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Angelica Gamez, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on April 24, 2020 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

MINUTES



PLANNING AND ZONING COMMISSION WORK SESSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
APRIL 14, 2020 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

IN LIEU OF ATTENDING IN PERSON AND IN AN EFFORT TO COMPLY WITH CDC RECOMMENDATIONS REGARDING SOCIAL DISTANCING, SPECIAL NOTES PERTAINING TO "REMOTELY" OR "VIRTUALLY" PARTICIPATING IN TONIGHT'S PLANNING AND ZONING COMMISSION WORK SESSION MEETING ARE AS FOLLOWS:

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Webinar ID: 334-916-504

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I. CALL TO ORDER

Vice-Chairman Jerry Welch called the meeting to order at 6:04 PM. The Commissioners present at the meeting were Mark Moeller, John Womble, Annie Fishman, and Sedric Thomas, and Tracey Logan. Absent from the meeting was Chairman Eric Chodun. Staff members present were Planning and Zoning Director Ryan Miller, Planning and Zoning Manager David Gonzales, and City Engineer Amy Williams. Absent from the meeting were Planning and Zoning Coordinator Angelica Gamez, and Civil Engineers Sarah Johnston and Jeremy White.

II. OPEN FORUM

Vice-Chairman Welch explained how open forum is conducted and asked if anyone wished to speak to come forward at this time. There being no one coming forward, Vice-Chairman Welch closed the open forum.

III. APPOINTMENTS

1. Appointment with the Planning and Zoning Director to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

Planning and Zoning Director Ryan Miller gave a brief summary of the recommendations provided by the Architectural Review Board (ARB). The ARB meeting was cancelled due to City Council's April 6, 2020 proclamation, and were only able to submit their comments electronically.

IV. CONSENT AGENDA

2. Approval of Minutes for the March 10, 2020 Planning and Zoning Commission meeting.

3. **P2020-012 (KOREY BROOKS)**

Consider a request by Steve Arze of Zaph & Ath Properties for the approval of a Replat for Lots 4 & 5, Block A, Landing Point Addition being a 4.88-acre tract of land identified as Lot 1, Block A, Landing Point Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located north of the intersection of Airport Road and Industrial Boulevard, and take any action necessary.

4. **P2020-013 (DAVID GONZALES)**

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Tom Kirkland of Lakefront Trail Rockwall Hotel, LP for the approval of a Replat for Lots 1 & 2, Block A, Shoreline Marriott Addition being a 3.025-acre tract of land identified as Lot 1, Block A, Marriott Addition and Lot 5, Block A, Shoreline Plaza Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, addressed as 2601 Lakefront Trail and 2850 Shoreline Trail, and take any action necessary.

5. **P2020-014 (DAVID GONZALES)**

Consider a request by Cameron Slown of Teague, Nall and Perkins, Inc. on behalf of Dan Bobst of 101 Hubbard Dr., LLC for the approval of a Replat for Lot 2, Block B, Harbor District Addition being a 2.893-acre tract of land identified as Lot 1, Block B, Harbor District, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the IH-30 Overlay (IH-30 OV) District, generally located at the southwest corner of the intersection of Sunset Ridge Drive and the IH-30 Frontage Road, and take any action necessary.

6. **P2020-015 (DAVID GONZALES)**

Consider a request by Brian Wade of Raymond L. Goodson Jr., Inc. on behalf of Jason Linscott of Rockwall Regional Hospital, LLC for the approval of a Replat for Lot 24, Block A, Presbyterian Hospital of Rockwall Addition being a 23.0927-acre tract of land identified as Lots 6, 8, 9, 12 & 23, Block A, Presbyterian Hospital of Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3142-3150 Horizon Road [FM-3097], and take any action necessary.

7. **P2020-016 (KOREY BROOKS)**

Consider a request by Ruben Segovia on behalf of Jose Valerio for the approval of a Replat for Lot 1, Block L, Lake Rockwall Estates East Addition being a 0.33-acre tract of land identified as Lots 1286 & 1287, Block A, Rockwall Lake Properties Development No. 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 257 & 269 Russell Drive, and take any action necessary.

8. **P2020-017 (KOREY BROOKS)**

Consider a request by Priya Acharya, PE of Weir & Associates, Inc. on behalf of Worth Williams of Moore Worth Investments, LLC for the approval of a Replat for Lot 9, Block A, Lakeshore Commons Addition, being a 1.401-acre parcel of land currently identified as Lot 8, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street [SH-205], and take any action necessary.

Commissioner Mark Moeller made a motion to approve the consent agenda. Commissioner John Womble seconded the motion which passed by a vote of 6-0 with Chairman Chodun absent.

V. ACTION ITEMS

9. **MIS2020-005 (KOREY BROOKS)**

Discuss and consider a request by Jack Cannedy of Buzz Custom Fence on behalf of Adam Archer for the approval of a Special Exception to the fence standards contained in *Ordinance No. 19-08* and the Unified Development Code (UDC) for a 0.1843-acre parcel of land identified as Lot 6, Block D, Park Place West, Phase II Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development 8 (PD-8) for Single-Family 7 (SF-7) District land uses, and take any action necessary.

Director Ryan Miller provided a brief summary in regards to the request. The applicant is requesting approval for a special exception of a fence material that is not permitted within Planned Development 59 (PD-59) District. As of now, this PD only allows the use of three (3) building materials which are wrought iron, tubular steel, and vinyl. The applicant is proposing to use SymTek material for his fence which is similar to vinyl but it is a composite polyethylene material. The fence will be six (6) feet in height and have a thickness of two (2) inches. According to the Unified Development Code (UDC), the Planning and Zoning Commission may consider alternative materials and/or alternative fence standards on a case-by-case basis. Staff should note that the composite polyethylene material is very similar to a vinyl fence, and that there are currently several vinyl fences in the Park Place Subdivision. It should also be noted that staff has spoken to a representative from the Homeowner's Association (HOA) who expressed that there was no issue with this fence material. Mr. Miller advised the Commission that the applicant was present as well as staff and were available for questions.

Jack Cannedy

The applicant raised his hand and provided further details in regards to the request. Mr. Cannedy explained that he has built these kinds of fences all over Dallas and the material was very durable and essentially maintenance free.

Commissioner Annie Fishman made a motion to approve item MIS2020-005 with staff recommendations. Commissioner Sedric Thomas seconded the motion which passes by a vote of 6-0 with Chairman Chodun absent.

10. MIS2020-006 (RYAN MILLER)

Discuss and consider a request by Ryan Joyce of Michael Joyce Properties on behalf Northgate Rockwall LD LP for the approval of an Exception to the utility placement requirements for overhead utilities in conjunction with a single-family residential subdivision on a 61.45-acre tract of land identified as Tract 4 of the W. M. Dalton Survey, Abstract No. 72, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 88 (PD-88) for Single-Family 1 (SF-1) District land uses, located at the southwest corner of the intersection of Stodghill Road [FM-3549] and Clem Road, and take any action necessary.

Planning and Zoning Director Ryan Miller provided a brief summary in regards to the request. Mr. Miller reminded the Commission that this property had come before them in June of last year for a zoning change from Agricultural (AG) district to a Planned Development (PD) district. Upon approval of the zoning case, the applicant submitted a Master Plat and Site Plan for the Northgate Subdivision, which is a 40-lot single-family subdivision with lots that are a minimum of one (1) acre in size. Following these approvals, the applicant submitted a Preliminary Plat, which was approved by the City Council on August 19, 2019. However, when the case was being reviewed by Engineering Department, a small issue came up in regards to the overhead power lines. The applicant is expanding the roadway along Clem Road. He is required to build half of that roadway along the entire length. In building that roadway, the overhead power lines will actually have to be moved in order to allow the construction of the roadway. Our ordinance requires him to underground those utilities and he contacted Farmers Electric and it was realized that it would be cost prohibitive if they underground those utilities. Mr. Miller then showed the Commission a letter from Farmers Electric explaining the cost of the project. With that being said, the applicant is proposing to allow those powerlines to remain above ground and in exchange he is willing to construct rest of the road along his property. The applicant is putting in underground power lines throughout the rest of the development. The UDC does call for underground power lines but it allows the Planning and Zoning Commission to review these on a discretionary case by case basis. This case does require a ¾ majority vote from the Planning and Zoning Commission and City Council for approval. Mr. Miller then advised the Commission that the applicant and Staff were present and available for questions.

Ryan Joyce

Mr. Joyce provided further details in regards to his request. He explained that they are requesting that the overhead lines along Clem Road be left in place but will be relocated throughout the construction of Clem Road. Mr. Joyce went on to further explain Exhibit B shown with the letter from Farmers Electric. He also stated that part of their agreement involves dedicating the required right-of-way and constructing a 20-foot portion of this roadway. He then advised the Commission that he was available for any questions.

Commissioner Sedric Thomas made a motion to approve item MIS2020-006 with staff recommendations. Commissioner Mark Moeller seconded the motion which passes by a vote of 6-0 with Commissioner Chodun absent. .

VI. DISCUSSION ITEMS

11. Z2020-009 (DAVID GONZALES)

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

177 Planning Director Ryan Miller advised the Commission that the applicant was present,

178
179 Brian Parsons/ Jeff Fleming

180
181 Mr. Parsons provided a brief summary in regards to his request. He explained that they had recently moved into a brand new
182 250,000 square foot building in Rockwall Technology Park. This structure has approximately 10,000 square feet known as
183 Suite 110. In their process of trying to obtain a Certificate of Occupancy, they learned that that 10,000 square foot space
184 would be used by Interstate Wire Classic Cars and is considered outside the scope of the zoning Light Industrial (LI) District.
185 Their request is to allow that 10,000 square feet to be allowed to be used for storage for special antique and vintage vehicles
186 owned by Mr. Fleming. Mr. Parsons advised the Commission that all of these vehicles would be indoors and none would be
187 visible from the street.

188
189 Mr. Miller, Director of Planning and Zoning department added that all of these cars being stored inside the space are
190 technically for sale but are part of a private collection. He also added that this is the same SUP put in place for antique car
191 show rooms that are mostly shown online.

192
193 Commissioner Annie Fishman wanted further elaboration on how the sales process works in this showroom.

194
195 Vice-Chairman Welch asked if there were any questions regarding item Z2020-009; there being none he brought the item
196 back to the Commission for questions and discussion.

197
198 There being no further questions Planning Director Ryan Miller indicated the case will return to the Commission for action
199 at the next scheduled meeting.

200
201 12. **Z2020-010 (KOREY BROOKS)**

202 Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an
203 accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge
204 Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive,
205 and take any action necessary.
206

207 Planning Director Ryan Miller advised the Commission that the applicant was present.

208
209 Edwin Echols

210
211 Mr. Echols provided a brief summary in regards to his request. He explained that he wanted to get his wood-working hobby
212 out of his garage and into a larger facility. His plan was to install a 14' x24' shed with a porch on one end and a driveway on
213 the other as indicated on his floorplan. Also, he plans on adding installation to the interior of the building.

214
215 Planning Director Ryan Miller added further details in regards to Mr. Echols' request. He added that the surrounding
216 area/properties have accessory structures and the reason why this requires an SUP is because of its size. If the building is
217 architecturally similar to its primary structure and is visible from any public right-of-way then the permit is needed. He
218 explained that where the structure is to be located is only visible to the applicant and not to the public.

219
220 Vice-Chairman Welch asked if there were any questions regarding item Z2020-010; there being none he brought the item
221 back to the Commission for questions and discussion.

222
223 There being no further questions Planning Director Ryan Miller indicated the case will return to the Commission for action
224 at the next scheduled meeting.

225
226 13. **Z2020-012 (KOREY BROOKS)**

227 Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian
228 for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a
229 single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall
230 County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO)
231 District, addressed as 706 Sherman Street, and take any action necessary.
232

233 Planning Director Ryan Miller advised the Commission that the applicant was present.

234
235 Ryszard Waszczuk
236

Mr. Waszczuk provided a brief summary in regards to his request. He explained that he's requesting to build a one-story residential home. The requested home will look exactly like the neighboring house on the same side of the street.

Planning Director Ryan Miller added further details in regards to Mr. Wazczuk's request. He reminded the Commission that the applicant is proposing similar housing to one of two properties shown at the last Planning and Zoning meeting.

Vice-Chairman Welch asked if there were any questions regarding item Z2020-012; there being none he indicated the case will return to the Commission for action at the next scheduled meeting on April 28, 2020.

14. **Z2020-014 (DAVID GONZALES)**

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

Planning Director Ryan Miller advised the Commission that the applicant was present.

Alejandro Portocarrero

Mr. Portocarrero provided a brief summary in regards to his request. He added that it is a single family residence that adhere to the height and other requirements made by the Chandlers Landing Homeowners Association. He stated that there was a drainage issue but it was able to be resolved.

Planning Director Ryan Miller added further details in regards to Mr. Portocarrero's request.

Vice-Chairman Welch asked if there were any questions regarding item Z2020-014; there being none he indicated the case will return to the Commission for action at the next scheduled meeting on April 28, 2020.

15. **Z2020-015 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Stephen Doyle of Structured Real Estate on behalf of Luke Alverson of Capstar Holding Corporation for the approval of a Zoning Change from a Commercial (C) District and a Light Industrial (LI) District to a Planned Development District (PD) for a 55.80-acre tract of land identified as Tract 22, 22-2, & 24 of the R. Irvine Survey, Abstract No. 120, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District and Light Industrial (LI) District, generally located at the southeast corner of the intersection of Corporate Crossing [FM-549] and the IH-30 Frontage Road, and take any action necessary.

Planning Director Ryan Miller advised the Commission that there were multiple applicants present and they were presenting a PowerPoint.

Stephen Doyle, Conor Keilty, Juliette Yu, Erich Wefing, Randy Eardley, Tim Homburg

Mr. Wefing provided a summary in regards to their request and went on to explain their PowerPoint presentation.

Vice-Chairman Welch asked if there were any questions regarding item Z2020-015; there being none he indicated the case will return to the Commission for action at the next scheduled meeting on April 28, 2020.

16. **SP2020-004 (DAVID GONZALES)**

Discuss and consider a request by Jason Miller of Boucher Design Group on behalf of Peter Sisan of SDI Rockwall Holdings, LLC for the approval of a Site Plan for a *strip retail center* on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

Planning Director Ryan Miller advised the Commission that the applicant was present but due to technical difficulties then he would be presenting the case and then provided a brief summary in regards to the request. He explained that this was the old EZ Mart location near Horizon and Ridge Road. The applicant plans to redevelop the site into a retail strip center. Mr. Miller added that as of right now, the building does have a lot of variances such as vertical and horizontal articulation, and materials. The Board was looking for them to dress up the back side of the building. He then advised the Commission that they would work with the ARB and the applicant and the case will be brought back to the Commission at the next meeting.

Vice-Chairman Welch asked if there were any questions regarding item SP2020-004; there being none he indicated the case will return to the Commission for action at the next scheduled meeting on April 28, 2020.

17. **SP2020-006 (KOREY BROOKS)**

Discuss and consider a request by Jared Helmberger, PE of Epsilon Land Development on behalf of Jim Vaudagna of Dallas East for the approval of a Site Plan for a *strip retail center and daycare facility* on a 6.28-acre parcel of land identified as Lot 5 of the Rockwall Business Park East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located on the southside of E. Ralph Hall Parkway west of the intersection of E. Ralph Hall Parkway and S. Goliad Street [SH-205], and take any action necessary.

Planning Director Ryan Miller advised the Commission that the applicant was present.

Jared Helmberger

Mr. Helmberger provided a brief summary in regards to his request. He explained that the Pinnacle Montessori Academy planned to purchase the 6 ½ acres and divide into two lots with the future lot remaining undeveloped. There will also be an after school building but for the purposes of the Board it is to be thought of as a retail shell building. The product is to be rent out by after school type activities or for any complementary uses for the daycare itself. He then advised the Commission that he was available for any questions.

Planning Director Ryan Miller added further details in regards to Mr. Helmberger's request. He explained that the ARB revised the elevations and they were looking for changes that could tie in the buildings to the rest of this which were more built towards a residential scale. They also wanted other building materials that were more complementary to the buildings across the street as well as more articulation on the smaller building. He indicated that they will work with the applicant to try to bring the building into conformance and provide compensatory measures to the Commission. He then advised the Commission that he was available for any questions as well.

Vice-Chairman Welch asked if there were any questions regarding item SP2020-006; there being none he indicated the case will return to the Commission for action at the next scheduled meeting on April 28, 2020.

18. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).

- ✓ P2020-010: Replat for Lot 24, Block E, Chandlers Landing, Phase 16 Addition [APPROVED]
- ✓ P2020-011: Replat for Lot 10, 11 & 12, Block A, Harbor-Rockwall Addition [APPROVED]
- ✓ Z2020-001: Zoning Change from AG to SF-1 for 844 Zion Hill Circle [APPROVED; 1st READING]
- ✓ Z2020-002: SUP for Single Family Home on 702 Parks Street [APPROVED; 1st READING]
- ✓ Z2020-003: SUP for Single Family Home on 610 Parks Street [APPROVED; 1st READING]
- ✓ Z2020-004: SUP for Single Family Home on 705 Peters Colony [APPROVED; 1st READING]
- ✓ Z2020-005: SUP for Single Family Home on 703 Peters Colony [APPROVED; 1st READING]
- ✓ Z2020-006: SUP for an Accessory Building on 2308 Saddlebrook Lane [DENIED; 1st READING]
- ✓ Z2020-007: Text Amendment to Article 08, Landscape and Screening, of the UDC [APPROVED; 1st READING]
- ✓ Z2020-008: SUP for Rental, Sales and Service of Heavy Machinery on 765 E. IH-30 [APPROVED; 1st READING]

Planning Director, Ryan Miller provided a brief update about the outcome of the above referenced cases at the City Council meeting.

VII. ADJOURNMENT

Vice-Chairman Welch adjourned the meeting at 7:40 PM.

PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this _____ day of _____, 2020.

Eric Chodun, Chairman

Attest:

Angelica Gamez, Planning and Zoning Coordinator



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 28, 2020
APPLICANT: Matthew Gardner; *Halff Associates*
CASE NUMBER: P2020-018; *Lots 2 & 3, Block, Ellis Centre, Phase Two Addition*

SUMMARY

Consider a request by Matthew Gardner of Halff Associates on behalf of Reid Caldwell for the approval of a Replat for Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition being a 7.02-acre parcel of land identified as Lot 1, Block D, Ellis Centre, Phase Two Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the terminus of Alpha Drive, and take any action necessary.

PLAT INFORMATION

- ☒ The applicant is requesting the approval of a replat for a 7.02-acre tract of land for purpose of subdividing the property into two (2) lots (*i.e. Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition*), and to establish the necessary easements [*i.e. 24-foot firelane, detention, drainage, and utility easements*] for the construction of a multi-tenant industrial facility consisting of three (3) separate buildings that will be ~87,600 SF in total area (*i.e. 50,400 SF, 25,200 SF, & 12,000 SF*).
- ☒ The subject property was annexed on November 30, 1959 by *Ordinance No. 60-01*. The subject property was zoned -- *along with the remainder of the 23.888-acre tract of land that made up Phases 1 & 2 of the Ellis Center Addition* -- from an Agricultural (AG) District and Commercial (C) District to a Light Industrial (LI) District on December 5, 1983 by *Ordinance No. 83-61 (PZ1983-035-01)*. The subject property was then platted as part of Lot 2 and all of Lots 4 & 5 of the Ellis Center, Phase 2 Addition on February 15, 1985 as part of *Case No. PZ1984-014-01*. The subject property was later assembled into its current configuration (*i.e. Lot 1, Block D, Ellis Center, Phase 2 Addition*) by *Case No. P2018-015*. On November 12, 2019, the Planning and Zoning Commission approved a site plan [*i.e. Case No. SP2019-040*] for the purpose of constructing a ~87,600 SF multi-tenant industrial facility for the subject property.
- ☒ The surveyor has completed the majority of the technical revisions requested by staff, and this plat -- *conforming to the requirements for plats as stipulated by the Chapter 38, Subdivisions, of the Municipal Code of Ordinances* -- is recommended for conditional approval pending the completion of final technical modifications and submittal requirements.
- ☒ Conditional approval of this plat by the City Council shall constitute approval subject to the conditions stipulated in the *Conditions of Approval* section below.
- ☒ With the exception of the items listed in the *Conditions of Approval* section of this case memo, this plat is in substantial compliance with the requirements of Chapter 38, *Subdivisions*, of the Municipal Code of Ordinances.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the Replat for *Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition*, staff would propose the following conditions of approval:

- (1) All technical comments from the Engineering, Planning and Fire Departments shall be addressed prior to the filing of this plat; and,

- (2) Any construction resulting from the approval of this plat shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall

Project Plan Review History



Project Number	P2020-018	Owner	REID CALDWELL	Applied	4/16/2020	AG
Project Name	Ellis Centre, Phase II Addition	Applicant	MATTHEW GARDNER	Approved		
Type	PLAT			Closed		
Subtype	REPLAT			Expired		
Status	P&Z HEARING			Status	4/23/2020	DG

Site Address	City, State Zip	Zoning
GAMMA	ROCKWALL, TX 75087	

Subdivision	Tract	Block	Lot No	Parcel No	General Plan
ELLIS CENTRE 2	1	D	1	3586-000D-0001-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	4/16/2020	4/23/2020	4/22/2020	6	APPROVED	
ENGINEERING (4/24/2020 8:20 AM SJ) M - Remove "by this plat" on all. M - Update the detention pond to say "Detention and Drainage Easement." M - Label the easements in Detail A and B. M - Must tie two points to Rockwall GPS. This will be a N: and E:. M - Update the legend to have "Fire Lane, Public Access, and Utility Easement." M - Update the curve table to include C2 and C3.	Sarah Johnston	4/16/2020	4/23/2020	4/24/2020	8	COMMENTS	
FIRE	Ariana Hargrove	4/16/2020	4/23/2020	4/21/2020	5	APPROVED	
GIS	Lance Singleton	4/16/2020	4/23/2020	4/24/2020	8	APPROVED	
PLANNING	David Gonzales	4/16/2020	4/23/2020	4/23/2020	7	COMMENTS	See comments

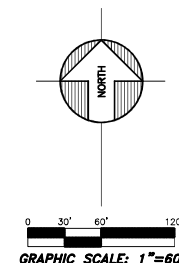
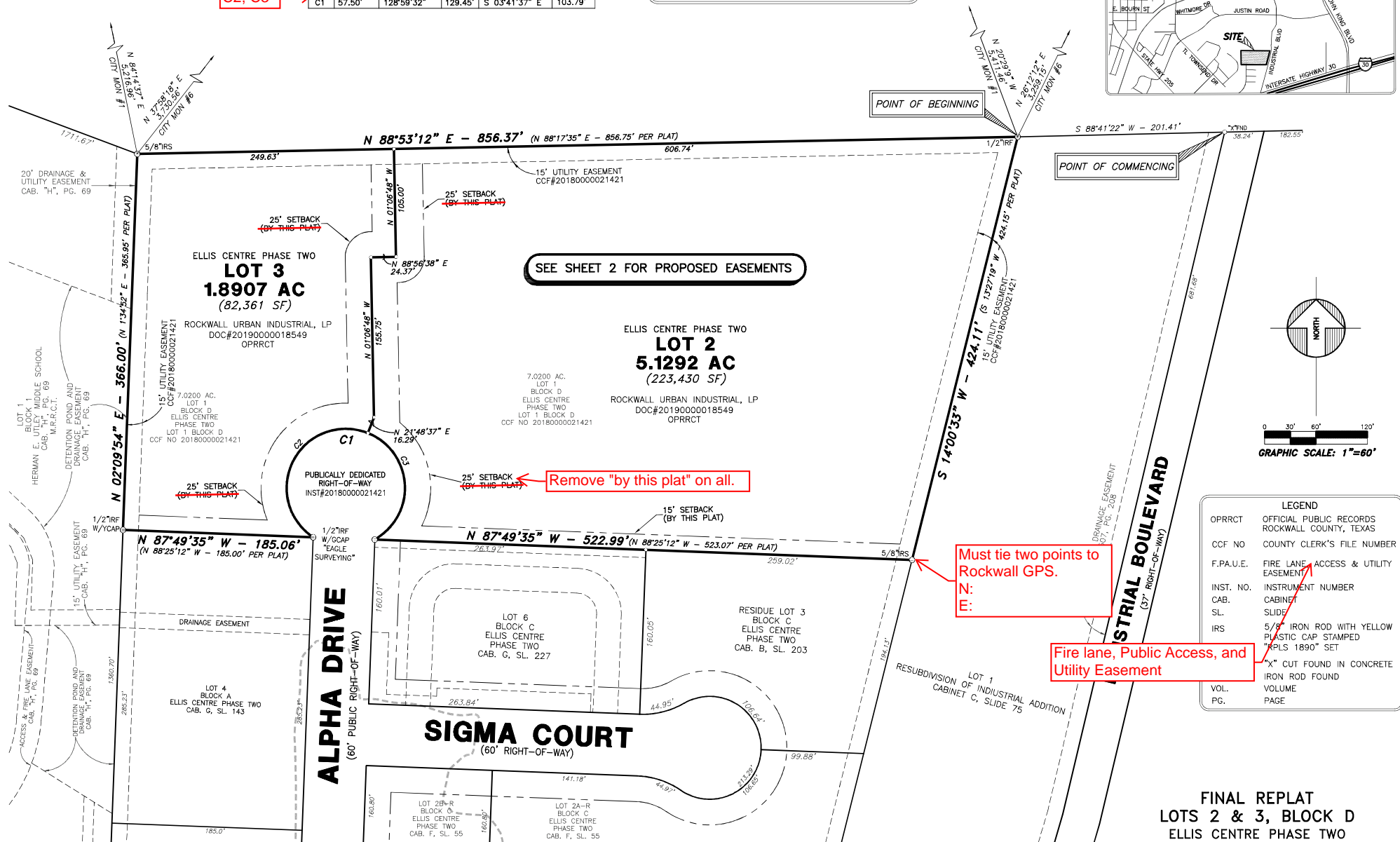
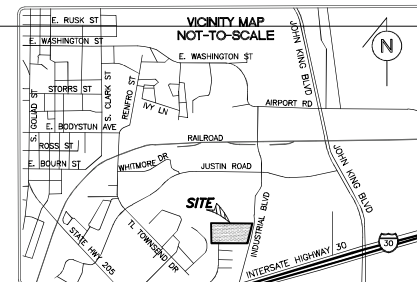
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(4/23/2020 3:56 PM DG)</p> <p>P2020-018; Replat for Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p> <p>I.1 This is a request for the approval of a Replat for Lots 2 & 3, Block D, Ellis Centre, Phase Two Addition being a 0.7.02-acre parcel of land identified as Lot 1, Block D, Ellis Centre, Phase Two Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the terminus of Alpha Drive.</p> <p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p> <p>M.3 For reference, include the case number (P2020-018) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).</p> <p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the General Industrial District Standards of Article 05, that are applicable to the subject property.</p> <p>M. 5 Label the width of all utility easements. [Chapter 38, Subdivision Regulations, Municipal Code of Ordinances]</p> <p>I.6 Label both lots with Lot, Block, Addition labels as indicated below:</p> <p>Example: Lot 2, Block D Ellis Centre Phase Two Addition (acres/SF)</p> <p>I.7 Please email a PDF version for a subsequent/final review by staff. Due to COVID-19, staff is requesting that you do not resubmit paper copies</p> <p>I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and return to staff as soon as practical, and provide any additional information that is requested</p> <p>M.9 Please note that once the plat has been approved by the Planning and Zoning Commission and City Council, all staff comments are to be addressed and all revisions are to be approved (by staff) prior to the plat being submitted on mylar for filing</p> <p>I.10 The Planning and Zoning Meeting is scheduled for April 28, 2020. (Consent Agenda)</p> <p>I.11 The City Council meeting for is scheduled for May 4, 2020. (Consent Agenda)</p> <p>I.12 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will be held via Zoom (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public); however, since this will be on the Consent Agenda, you are not required to attend</p>						

~ CURVE TABLE ~

NO	RAD	DELTA	ARC	CHBRG	CH
C1	57.50'	297°15'27"	298.32	S 87°49'35" E	59.87'
C1	57.50'	168°15'55"	168.87'	N 27°40'39" E	114.40'
C1	57.50'	128°59'32"	129.45'	S 03°41'37" E	103.79'

NOTE:

THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS FROM 1, AND DEDICATE NEW EASEMENTS.



LEGEND

OPRRCT	OFFICIAL PUBLIC RECORDS ROCKWALL COUNTY, TEXAS
CCF NO	COUNTY CLERK'S FILE NUMBER
F.P.A.U.E.	FIRE LANE ACCESS & UTILITY EASEMENT
INST. NO.	INSTRUMENT NUMBER
CAB.	CABINET
SL.	SLIDE
IRS	5/8" IRON ROD WITH YELLOW PLASTIC CAP STAMPED "APLS 1890" SET
"X"	CUT FOUND IN CONCRETE IRON ROD FOUND
VOL.	VOLUME
PG.	PAGE

FINAL REPLAT
LOTS 2 & 3, BLOCK D
ELLIS CENTRE PHASE TWO
BEING A REPLAT OF LOT 1, BLOCK D
ELLIS CENTRE PHASE TWO ADDITION
BEING A 7.0200-ACRE PARCEL
A. HANNA SURVEY, ABSTRACT 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

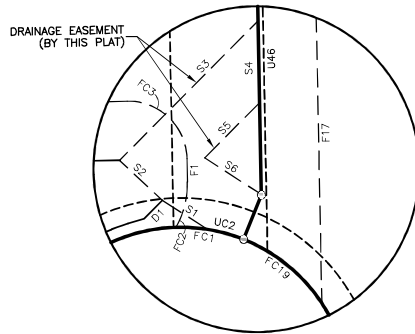


BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBLPLS REGISTRATION No. 10105700

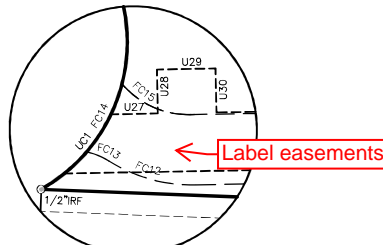
OWNER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240

MARCH 9, 2020

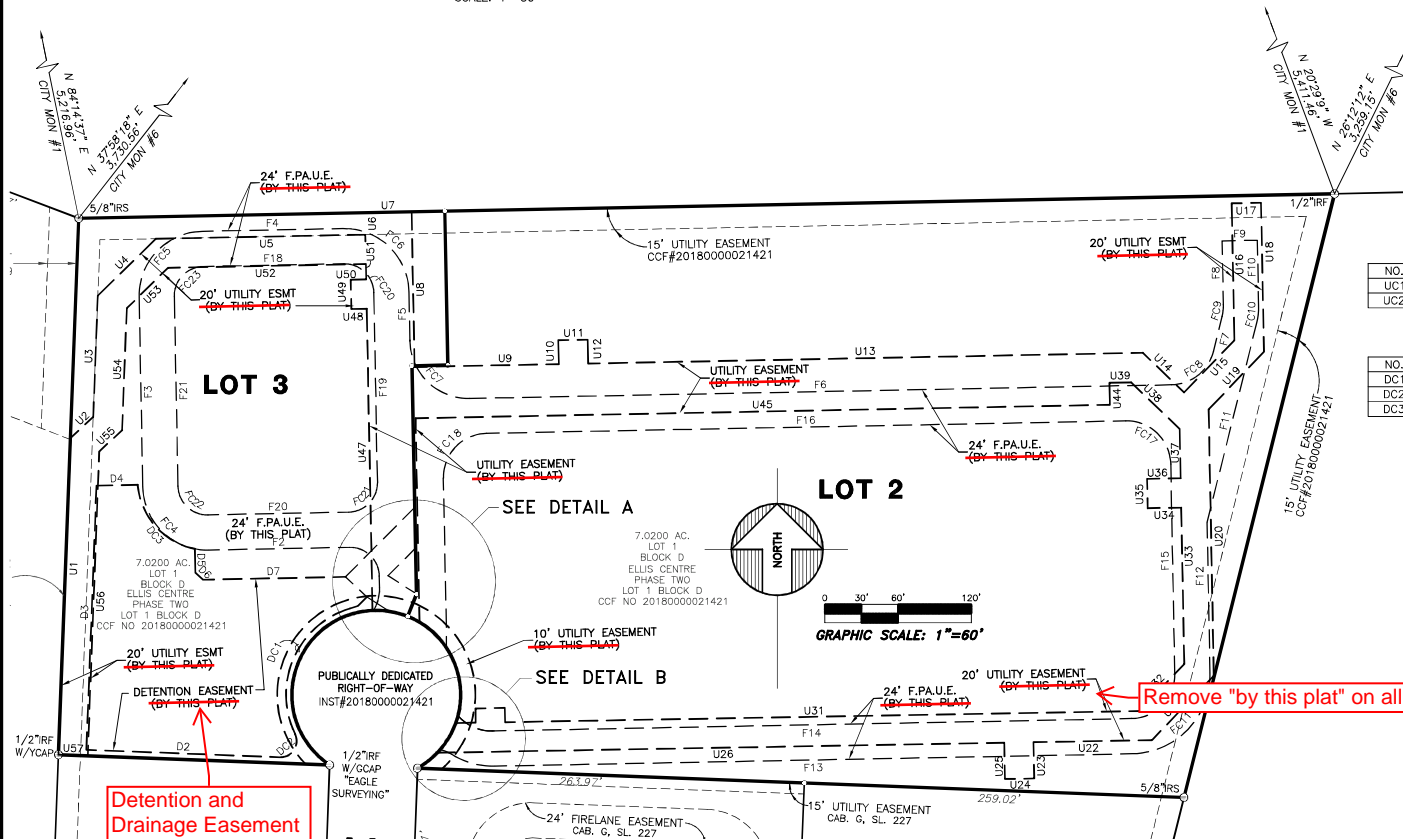
CASE NO. _____



DETAIL A
SCALE: 1"=30'



DETAIL B
SCALE: 1"=30'



~ F.A.U.E. LINE TABLE ~

NO.	BEARING	DISTANCE
F1	N01°05'17"W	7.95'
F2	S88°53'12"W	96.00'
F3	N01°06'48"W	129.33'
F4	N88°53'12"E	96.00'
F5	S01°06'48"E	33.43'
F6	N88°53'12"E	478.59'
F7	N13°58'06"E	24.66'
F8	N01°06'48"W	43.61'
F9	N88°53'12"E	24.00'
F10	S01°06'48"E	45.00'
F11	S14°00'33"W	139.93'
F12	S01°06'48"E	102.84'
F13	S88°53'12"W	434.66'
F14	N88°53'12"E	436.00'
F15	N01°06'48"W	143.00'
F16	S88°53'12"W	435.94'
F17	S01°05'17"E	115.98'
F18	N88°53'12"E	96.00'
F19	S01°06'48"E	129.33'
F20	S88°53'12"W	96.00'
F21	N01°06'48"W	129.33'

~ F.A.U.E. CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	57.50'	23°33'06"	23.64'	N79°57'56"W	23.47'
FC2	30.00'	30°47'45"	16.12'	N14°18'35"E	15.93'
FC3	20.00'	90°01'30"	31.42'	N46°06'02"W	28.29'
FC4	44.00'	90°00'00"	69.12'	S46°06'48"E	62.23'
FC5	44.00'	90°00'00"	69.12'	S43°53'12"W	62.23'
FC6	44.00'	90°00'00"	69.12'	N46°06'48"W	62.23'
FC7	40.00'	90°00'00"	62.83'	S46°06'48"E	56.57'
FC8	30.00'	74°52'39"	39.21'	N51°28'53"E	36.47'
FC9	30.00'	15°04'53"	7.90'	N06°25'39"E	7.87'
FC10	44.00'	15°07'21"	11.61'	N06°26'53"E	11.58'
FC11	54.00'	90°00'00"	84.82'	N43°53'12"E	76.37'
FC12	54.00'	33°05'22"	31.19'	S74°34'07"E	30.16'
FC13	25.00'	18°50'24"	8.22'	N67°26'38"W	8.18'
FC14	57.50'	26°12'23"	26.30'	N27°28'33"E	26.07'
FC15	30.14'	52°51'25"	27.81'	S67°03'38"E	26.83'
FC16	30.00'	90°00'00"	47.12'	N43°53'12"E	42.43'
FC17	30.00'	90°00'00"	47.12'	N46°06'48"W	42.43'
FC18	30.00'	89°58'30"	47.11'	S43°53'58"W	42.42'
FC19	57.50'	34°44'58"	34.87'	N50°48'54"W	34.34'
FC20	20.00'	90°00'00"	31.42'	N46°06'48"W	28.28'
FC21	20.00'	90°00'00"	31.42'	N43°53'12"E	28.28'
FC22	20.00'	90°00'00"	31.42'	S46°06'48"E	28.28'
FC23	20.00'	90°00'00"	31.42'	S43°53'12"W	28.28'

~ UTILITY ESMT LINE TABLE ~

NO.	BEARING	DISTANCE
U1	N02°09'54"E	215.96'
U2	N47°10'13"E	21.24'
U3	N02°10'13"E	82.81'
U4	N45°35'36"E	55.40'
U5	N88°53'12"E	142.79'
U6	N01°06'48"W	15.00'
U7	N88°53'12"E	31.84'
U8	S01°06'48"E	105.80'
U9	N88°53'12"E	98.36'
U10	N01°06'05"W	16.31'
U11	N88°53'12"E	20.00'
U12	S01°06'05"E	16.30'
U13	N88°53'12"E	378.21'
U14	S46°06'48"E	39.12'
U15	N43°46'26"E	49.50'
U16	N01°06'42"W	93.30'
U17	N88°53'18"E	20.00'
U18	S01°06'42"E	101.56'
U19	S43°46'26"W	54.49'
U20	S01°06'48"E	181.57'
U21	S43°53'12"W	60.99'
U22	S88°59'27"W	80.65'
U23	S01°06'48"E	19.73'
U24	S88°53'12"W	20.00'
U25	N01°06'48"W	19.75'
U26	S88°57'44"W	392.23'
U27	N88°56'53"E	15.95'
U28	N01°09'31"W	14.98'
U29	N88°50'29"E	20.00'
U30	S01°09'31"E	15.02'
U31	N88°56'53"E	427.44'
U32	N43°53'12"E	44.40'
U33	N01°06'48"W	106.72'
U34	S88°53'12"W	22.88'
U35	N01°06'48"W	20.00'
U36	N88°53'12"E	22.88'
U37	N01°06'48"W	33.60'
U38	N46°06'48"W	45.86'
U39	S88°53'12"W	14.84'
U40	NOT USED	
U41	NOT USED	
U42	NOT USED	
U43	NOT USED	
U44	S01°06'48"E	15.00'
U45	S88°53'12"W	473.45'
U46	S01°06'48"E	139.13'
U47	N01°06'48"W	205.73'
U48	S88°53'12"W	10.46'
U49	N01°06'48"W	20.00'
U50	N88°53'12"E	10.46'
U51	N01°06'48"W	10.50'
U52	S88°53'12"W	134.85'
U53	S45°35'36"E	39.49'
U54	S02°10'13"W	83.13'
U55	S47°10'13"W	21.24'
U56	S02°09'54"W	207.67'
U57	N87°50'06"W	20.00'

~ UTILITY ESMT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	57.50'	25°50'31"	25.93'	N38°18'17"E	25.71'
UC2	57.50'	33°21'17"	33.47'	N75°49'32"W	33.00'

~ DETENTION ESMT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
DC1	61.90'	103°35'16"	111.91'	S26°08'06"W	97.28'
DC2	11.03'	117°36'30"	22.63'	N33°08'43"E	18.86'
DC3	48.50'	74°05'26"	62.72'	S41°42'18"E	58.44'

~ DETENTION ESMT LINE TABLE ~

NO.	BEARING	DISTANCE
D1	S44°50'24"W	8.72'
D2	N87°48'13"W	132.08'
D3	N02°11'18"E	180.24'
D4	N88°53'12"E	28.14'
D5	S01°06'48"E	16.12'
D6	S46°06'48"E	7.07'
D7	N88°53'12"E	96.87'

~ DRAINAGE ESMT LINE TABLE ~

NO.	BEARING	DISTANCE
S1	N57°11'00"W	18.23'
S2	N47°03'10"W	20.01'
S3	N44°50'24"E	67.00'
S4	S01°06'48"E	27.83'
S5	S44°50'24"W	26.55'
S6	S57°11'00"E	23.00'

~ UTILITY ESMT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	57.50'	25°50'31"	25.93'	N38°18'17"E	25.71'
UC2	57.50'	33°21'17"	33.47'	N75°49'32"W	33.00'

FINAL REPLAT
LOTS 2 & 3, BLOCK D
ELLIS CENTRE PHASE TWO
BEING A REPLAT OF LOT 1, BLOCK D
ELLIS CENTRE PHASE TWO ADDITION
BEING A 7.0200-ACRE PARCEL
A. HANNA SURVEY, ABSTRACT 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700

OWNER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240

MARCH 9, 2020

CASE NO.

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ROCKWALL URBAN INDUSTRIAL, LP IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND BEING KNOWN AS ALL OF LOT 1, IN BLOCK D, OF ELLIS CENTRE, PHASE TWO, LOT 1, BLOCK D, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2018000021421 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING THE SAME PROPERTY DESCRIBED IN DEED TO ROCKWALL URBAN INDUSTRIAL, LP UNDER DOCUMENT NUMBER 2019000018549, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT AN "X" FOUND IN CONCRETE FOR CORNER IN THE NORTHWEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (37' RIGHT-OF-WAY), SAID POINT BEING THE NORTHEAST CORNER OF LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 75 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 88° 41' 22" WEST LEAVING THE NORTHWEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD AND ALONG THE NORTH LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION FOR A DISTANCE OF 201.41 FEET TO A 1/2" IRON ROD FOUND FOR THE POINT OF BEGINNING; SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION;

THENCE SOUTH 14° 09' 33" WEST (SOUTH 13° 27' 19" WEST PER PLAT) ALONG THE EAST LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE WEST LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION FOR A DISTANCE OF 424.11 FEET (424.15 FEET PER PLAT) TO A 5/8" IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO;

THENCE NORTH 87° 49' 35" WEST (NORTH 88° 25' 12" WEST PER PLAT) LEAVING THE WEST LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO, AND PASSING AT A DISTANCE OF 259.02 FEET THE NORTHEAST CORNER OF LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "G", SLIDE 227 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS; AND CONTINUING ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTH LINE OF SAID LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, FOR A DISTANCE OF 522.99 FEET (523.07 FEET PER PLAT) TO A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, SAID POINT BEING IN THE EAST RIGHT-OF-WAY LINE OF ALPHA DRIVE (60' RIGHT-OF-WAY), SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 57.50 FEET WITH A CENTRAL ANGLE OF 297° 15' 27" AND A CHORD BEARING SOUTH 87° 49' 35" EAST AT A DISTANCE OF 59.87 FEET;

THENCE NORTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT AND THE RIGHT-OF-WAY LINE OF SAID ALPHA DRIVE FOR AN ARC DISTANCE OF 298.32 FEET TO A 1/2" IRON ROD WITH GCAP MARKED "EAGLE SURVEYING" FOUND FOR CORNER, SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF SAID ALPHA DRIVE AND ALSO BEING THE NORTHEAST CORNER OF LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "G", SLIDE 143 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 87° 49' 35" WEST (NORTH 88° 25' 12" WEST PER PLAT) AND LEAVING THE WEST LINE OF SAID ALPHA DRIVE AND FOLLOWING ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTH LINE OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, FOR A DISTANCE OF 185.06 FEET (185.00 FEET) TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER IN THE EAST LINE OF LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "H", PAGE 89 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTHWEST CORNER OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO;

THENCE NORTH 02° 09' 54" EAST (NORTH 1° 34' 52" EAST PER PLAT) AND DEPARTING THE NORTH LINE OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, AND FOLLOWING ALONG THE WEST LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL, FOR A DISTANCE OF 366.00 FEET (365.95 FEET PER PLAT) TO A 5/8" IRON ROD SET FOR CORNER, SAID POINT BEING THE NORTHWEST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTHEAST CORNER OF LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL ADDITION;

THENCE NORTH 88° 53' 12" EAST (NORTH 88° 17' 35" EAST PER PLAT) ALONG THE NORTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO FOR A DISTANCE OF 856.37 FEET (856.75 FEET PER PLAT) TO THE POINT OF BEGINNING AND CONTAINING 7.0200 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARINGS = STATE PLANE COORDINATE (4202 TEXAS NORTH CENTRAL ZONE) REFERENCE FRAME NORTH AMERICAN DATUM (NAD) 83(2011)

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOTS 2 & 3, BLOCK D, ELLIS CENTRE PHASE TWO ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN ELLIS CENTRE PHASE TWO ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING:

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

(7) THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIRS, AND RECONSTRUCTION OF DRAINAGE AND DETENTION EASEMENTS ON SITE.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY'S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUESTIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION'S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREFORE ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE ____ DAY OF ____, 2020.

ELLIS CENTRE PHASE TWO ADDITION

BY: _____
(NAME / TITLE)

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

SURVEYOR'S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS ____ DAY OF ____, 2020.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER



BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TIPLS REGISTRATION No. 10105700

OWNER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240

NOTE:

THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.

FINAL REPLAT
LOTS 2 & 3, BLOCK D
ELLIS CENTRE PHASE TWO
BEING A REPLAT OF LOT 1, BLOCK D
ELLIS CENTRE PHASE TWO ADDITION
BEING A 7.0200-ACRE PARCEL
A. HANNA SURVEY, ABSTRACT 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

MARCH 9, 2020

CASE NO. _____

SHEET 3 OF 3



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
☐ Final Plat (\$300.00 + \$20.00 Acre)¹
☒ Replat (\$300.00 + \$20.00 Acre)¹
☐ Amending or Minor Plat (\$150.00)
☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
☐ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address End of Alpha

Subdivision Ellis Centre Phase Two

Lot 1 Block D

General Location _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning LI

Current Use Vacant

Proposed Zoning LI

Proposed Use Industrial

Acreage 7.02

Lots [Current] 1

Lots [Proposed] 2

☒ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner Rockwall Urban Industrial, LP

☒ Applicant Halff Associates

Contact Person Reid Caldwell

Contact Person Matthew Gardner

Address 13150 Coit Rd

Address 1201 Bowser Road

City, State & Zip Dallas, TX 75240

City, State & Zip Richardson, TX 75081

Phone 214-457-8198

Phone 214-346-6308

E-Mail reid@longbowinterests.com

E-Mail mgardner@halff.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Reid Caldwell [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 440.40, to cover the cost of this application, has been paid to the City of Rockwall on this the 16 day of April, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

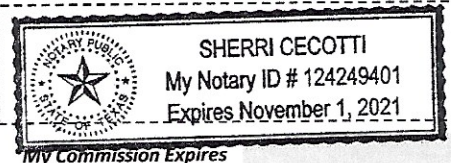
Given under my hand and seal of office on this the 16 day of April, 20 20.

Owner's Signature


Reid Caldwell

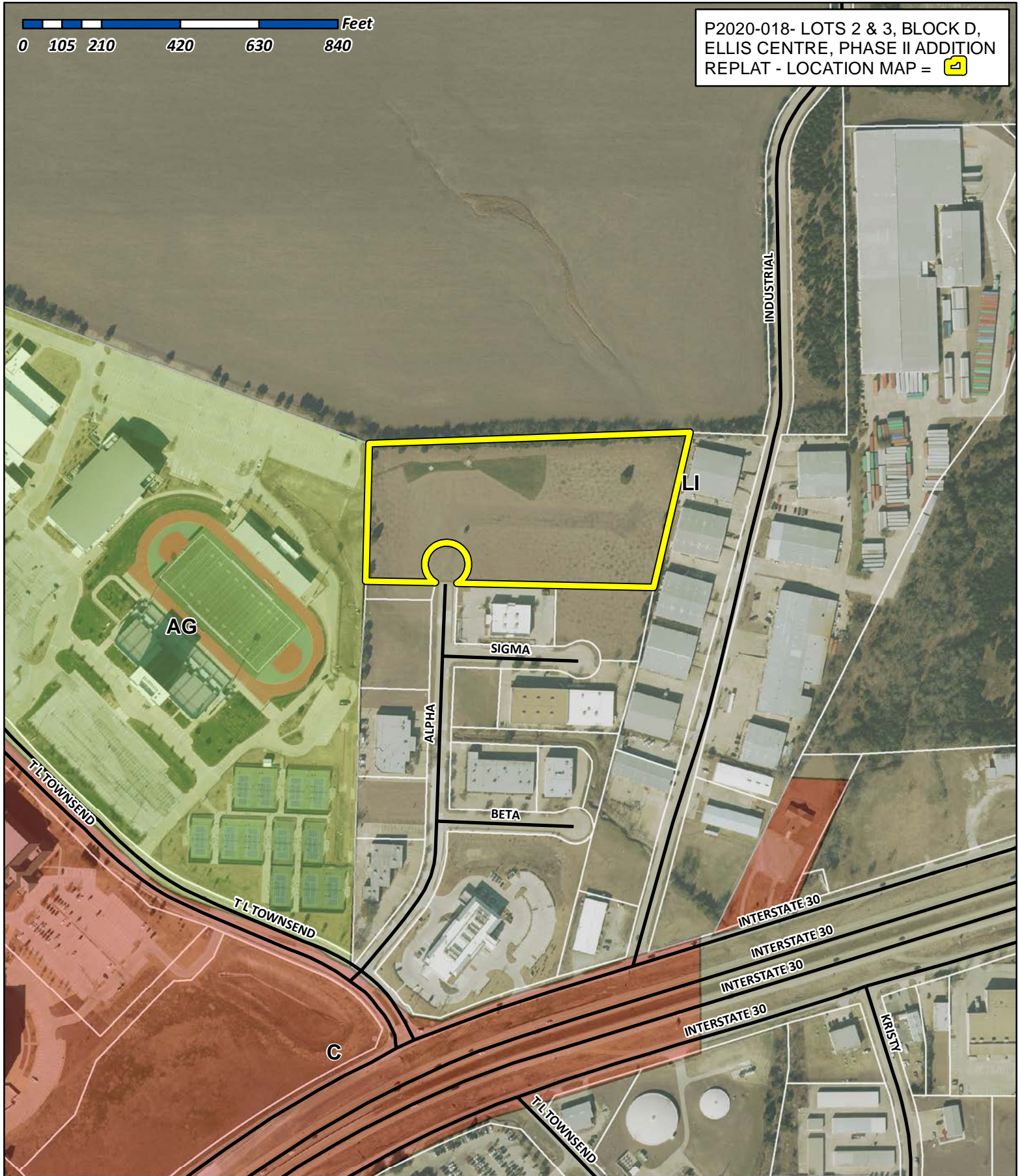
Notary Public in and for the State of Texas

Sherry Cecotti



0 105 210 420 630 840 Feet

P2020-018- LOTS 2 & 3, BLOCK D,
ELLIS CENTRE, PHASE II ADDITION
REPLAT - LOCATION MAP = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

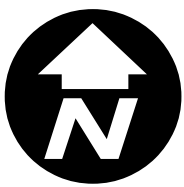
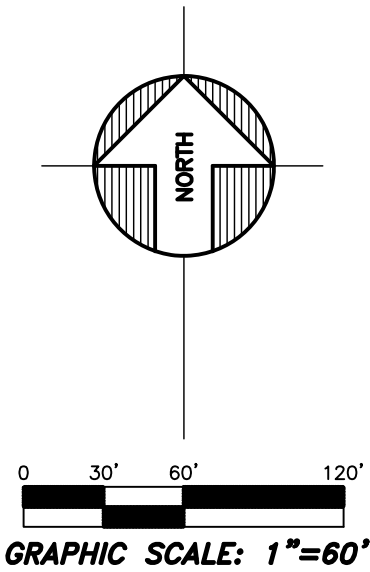
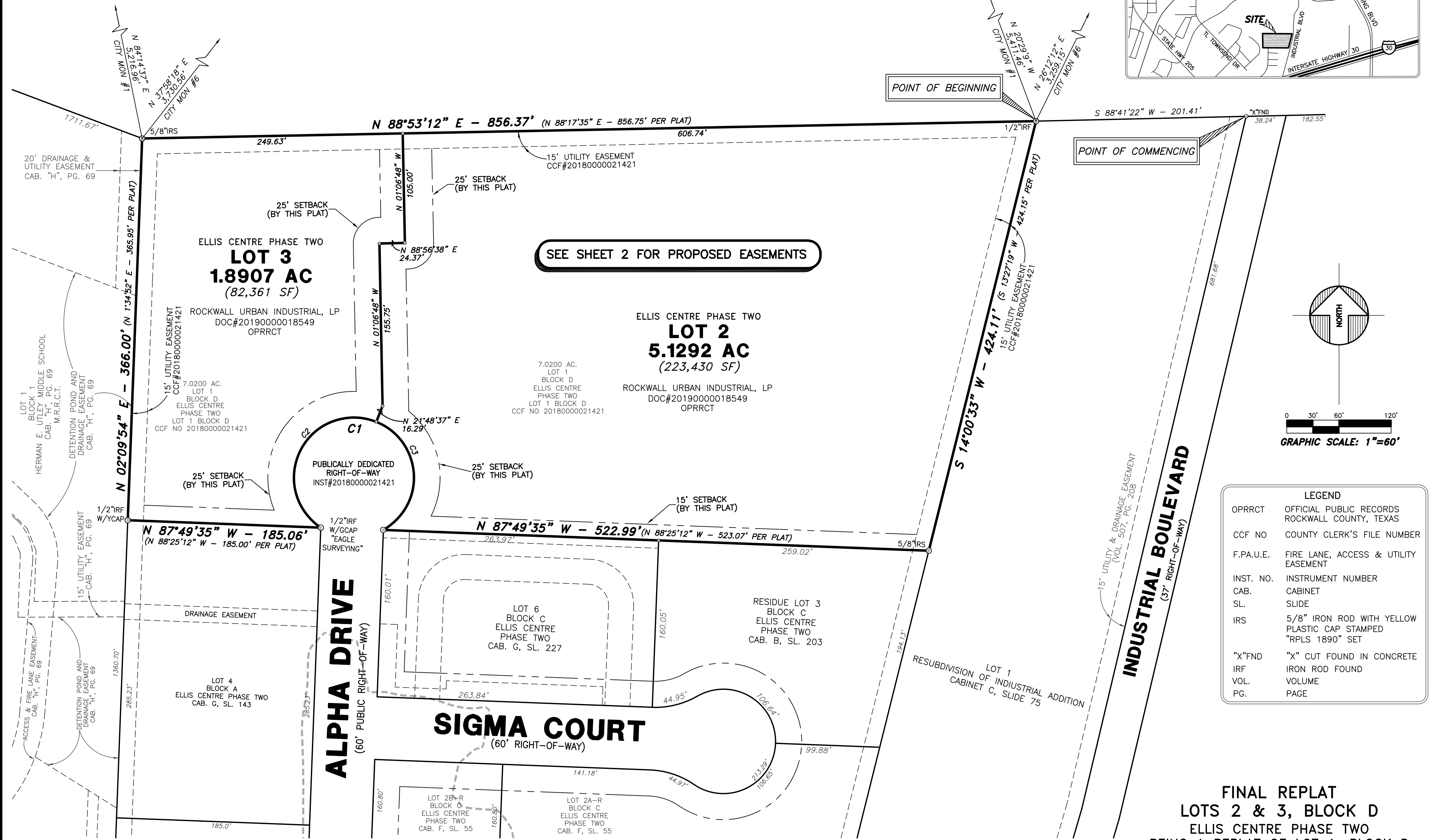
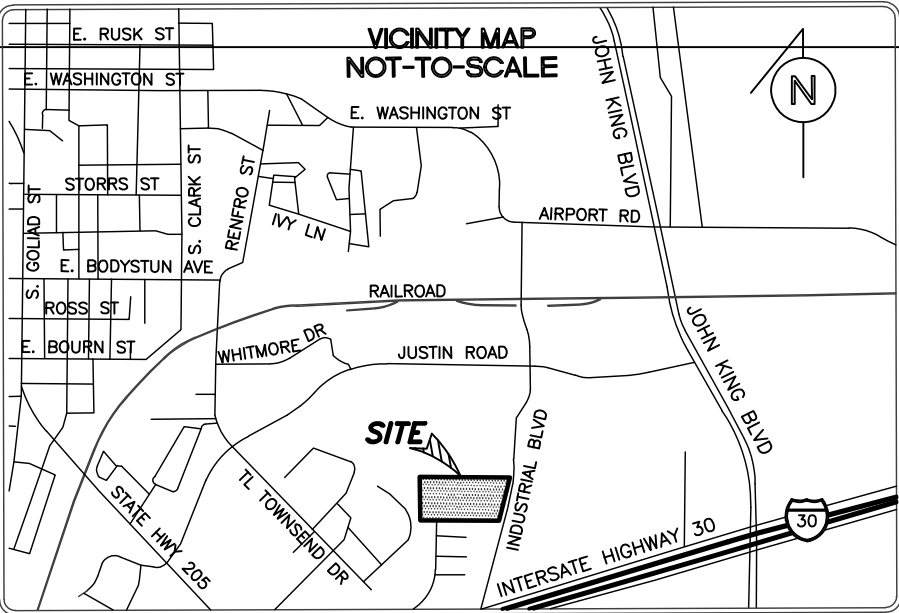


Table with 6 columns: NO, RAD, DELTA, ARC, CHBRG, CH. It contains curve data for three points (C1, C1, C1).

NOTE: THE PURPOSE OF THIS PLAT IS TO CREATE 2 LOTS FROM 1, AND DEDICATE NEW EASEMENTS.



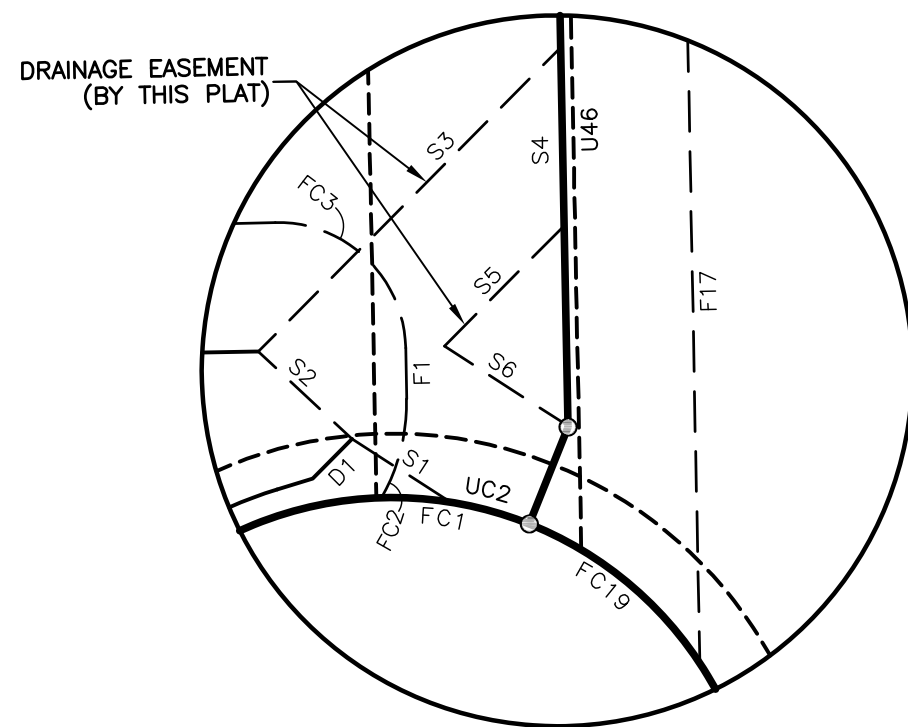
LEGEND table defining symbols and abbreviations used in the plat, such as OPRRCT, CCF NO, F.P.A.U.E., etc.

FINAL REPLAT LOTS 2 & 3, BLOCK D ELLIS CENTRE PHASE TWO BEING A REPLAT OF LOT 1, BLOCK D

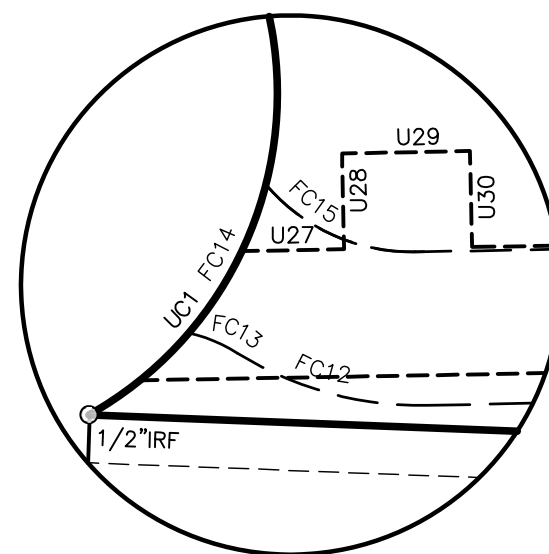


BLUE SKY SURVEYING & MAPPING, CORPORATION 11015 MIDWAY ROAD DALLAS, TEXAS 75229

OWNER ROCKWALL URBAN INDUSTRIAL, LP 13150 COIT ROAD, SUITE 205 DALLAS, TEXAS 75240



DETAIL A
SCALE: 1"=30'



DETAIL B
SCALE: 1"=30'

~ F.A.U.E. LINE TABLE ~

NO.	BEARING	DISTANCE
F1	N01°05'17"W	7.95'
F2	S88°53'12"W	96.00'
F3	N01°06'48"W	129.33'
F4	N88°53'12"E	96.00'
F5	S01°06'48"E	33.43'
F6	N88°53'12"E	478.59'
F7	N13°58'06"E	24.66'
F8	N01°06'48"W	43.61'
F9	N88°53'12"E	24.00'
F10	S01°06'48"E	45.00'
F11	S14°00'33"W	139.93'
F12	S01°06'48"E	102.84'
F13	S88°53'12"W	434.66'
F14	N88°53'12"E	436.00'
F15	N01°06'48"W	143.00'
F16	S88°53'12"W	435.94'
F17	S01°05'17"E	115.98'
F18	N88°53'12"E	96.00'
F19	S01°06'48"E	129.33'
F20	S88°53'12"W	96.00'
F21	N01°06'48"W	129.33'

~ F.A.U.E. CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
FC1	57.50'	23°33'06"	23.64'	N79°57'56"W	23.47'
FC2	30.00'	30°47'45"	16.12'	N14°18'35"E	15.93'
FC3	20.00'	90°01'30"	31.42'	N46°06'02"W	28.29'
FC4	44.00'	90°00'00"	69.12'	S46°06'48"E	62.23'
FC5	44.00'	90°00'00"	69.12'	S43°53'12"W	62.23'
FC6	44.00'	90°00'00"	69.12'	N46°06'48"W	62.23'
FC7	40.00'	90°00'00"	62.83'	S46°06'48"E	56.57'
FC8	30.00'	74°52'39"	39.21'	N51°26'53"E	36.47'
FC9	30.00'	15°04'53"	7.90'	N06°25'39"E	7.87'
FC10	44.00'	15°07'21"	11.61'	N06°26'53"E	11.58'
FC11	54.00'	90°00'00"	84.82'	N43°53'12"E	76.37'
FC12	54.00'	33°05'22"	31.19'	S74°34'07"E	30.76'
FC13	25.00'	18°50'24"	8.22'	N67°26'38"W	8.18'
FC14	57.50'	26°12'23"	26.30'	N27°28'33"E	26.07'
FC15	30.14'	52°51'25"	27.81'	S67°03'38"E	26.83'
FC16	30.00'	90°00'00"	47.12'	N43°53'12"E	42.43'
FC17	30.00'	90°00'00"	47.12'	N46°06'48"W	42.43'
FC18	30.00'	89°58'30"	47.11'	S43°53'58"W	42.42'
FC19	57.50'	34°44'58"	34.87'	N50°48'54"W	34.34'
FC20	20.00'	90°00'00"	31.42'	N46°06'48"W	28.28'
FC21	20.00'	90°00'00"	31.42'	N43°53'12"E	28.28'
FC22	20.00'	90°00'00"	31.42'	S46°06'48"E	28.28'
FC23	20.00'	90°00'00"	31.42'	S43°53'12"W	28.28'

~ UTILITY ESMT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
UC1	57.50'	25°50'31"	25.93'	N38°18'17"E	25.71'
UC2	57.50'	33°21'17"	33.47'	N75°49'32"W	33.00'

~ DETENTION ESMT CURVE TABLE ~

NO.	RADIUS	DELTA	ARC	CH. BEARING	CHORD
DC1	61.90'	103°35'16"	111.91'	S26°08'06"W	97.28'
DC2	11.03'	117°36'30"	22.63'	N33°08'43"E	18.86'
DC3	48.50'	74°05'26"	62.72'	S41°42'18"E	58.44'

~ DETENTION ESMT LINE TABLE ~

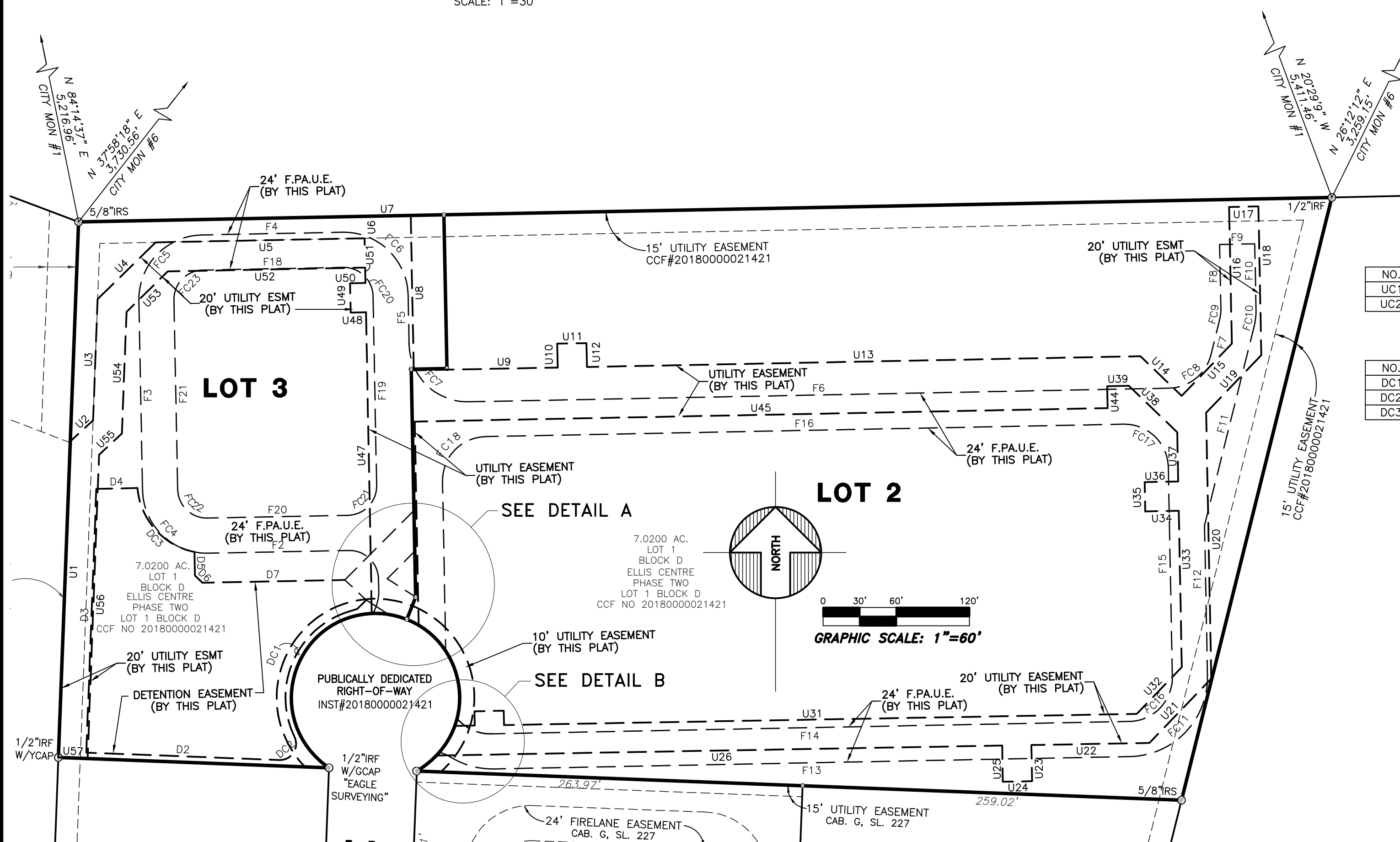
NO.	BEARING	DISTANCE
D1	S44°50'24"W	8.72'
D2	N87°48'13"W	132.08'
D3	N02°11'18"E	180.24'
D4	N88°53'12"E	28.14'
D5	S01°06'48"E	16.12'
D6	S46°06'48"E	7.07'
D7	N88°53'12"E	96.87'

~ DRAINAGE ESMT LINE TABLE ~

NO.	BEARING	DISTANCE
S1	N57°11'00"W	18.23'
S2	N47°03'10"W	20.01'
S3	N44°50'24"E	67.00'
S4	S01°06'48"E	27.83'
S5	S44°50'24"W	26.55'
S6	S57°11'00"E	23.00'

~ UTILITY ESMT LINE TABLE ~

NO.	BEARING	DISTANCE
U1	N02°09'54"E	215.96'
U2	N47°10'13"E	21.24'
U3	N02°10'13"E	82.81'
U4	N45°35'36"E	55.40'
U5	N88°53'12"E	142.79'
U6	N01°06'48"W	15.00'
U7	N88°53'12"E	31.84'
U8	S01°06'48"E	105.80'
U9	N88°53'12"E	98.36'
U10	N01°06'05"W	16.31'
U11	N88°53'55"E	20.00'
U12	S01°06'05"E	16.30'
U13	N88°53'12"E	378.21'
U14	S46°06'48"E	39.12'
U15	N43°46'26"E	49.50'
U16	N01°06'42"W	93.30'
U17	N88°53'18"E	20.00'
U18	S01°06'42"E	101.56'
U19	S43°46'26"W	54.49'
U20	S01°06'48"E	181.57'
U21	S43°53'12"W	60.99'
U22	S88°59'27"W	80.65'
U23	S01°06'48"E	19.73'
U24	S88°53'12"W	20.00'
U25	N01°06'48"W	19.75'
U26	S88°57'44"W	392.23'
U27	N88°56'53"E	15.95'
U28	N01°09'31"W	14.98'
U29	N88°50'29"E	20.00'
U30	S01°09'31"E	15.02'
U31	N88°56'53"E	427.44'
U32	N43°53'12"E	44.40'
U33	N01°06'48"W	106.72'
U34	S88°53'12"W	22.88'
U35	N01°06'48"W	20.00'
U36	N88°53'12"E	22.88'
U37	N01°06'48"W	33.60'
U38	N46°06'48"W	45.86'
U39	S88°53'12"W	14.84'
U40	NOT USED	
U41	NOT USED	
U42	NOT USED	
U43	NOT USED	
U44	S01°06'48"E	15.00'
U45	S88°53'12"W	473.45'
U46	S01°06'48"E	139.13'
U47	N01°06'48"W	205.73'
U48	S88°53'12"W	10.46'
U49	N01°06'48"W	20.00'
U50	N88°53'12"E	10.46'
U51	N01°06'48"W	10.50'
U52	S88°53'12"W	134.85'
U53	S45°35'36"W	39.49'
U54	S02°10'13"W	83.13'
U55	S47°10'13"W	21.24'
U56	S02°09'54"W	207.67'
U57	N87°50'06"W	20.00'



FINAL REPLAT
LOTS 2 & 3, BLOCK D
ELLIS CENTRE PHASE TWO
BEING A REPLAT OF LOT 1, BLOCK D
ELLIS CENTRE PHASE TWO ADDITION
BEING A 7.0200-ACRE PARCEL
A. HANNA SURVEY, ABSTRACT 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS



BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700

OWNER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240

MARCH 9, 2020

CASE NO. _____

OWNER’S CERTIFICATE

STATE OF TEXAS
COUNTY OF ROCKWALL

WHEREAS, ROCKWALL URBAN INDUSTRIAL, LP IS THE OWNER OF ALL THAT CERTAIN LOT, TRACT OR PARCEL OF LAND SITUATED IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS AND BEING KNOWN AS ALL OF LOT 1, IN BLOCK D, OF ELLIS CENTRE, PHASE TWO, LOT 1, BLOCK D, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN DOCUMENT NUMBER 20180000021421 OF THE OFFICIAL PUBLIC RECORDS OF ROCKWALL COUNTY, TEXAS, AND BEING THE SAME PROPERTY DESCRIBED IN DEED TO ROCKWALL URBAN INDUSTRIAL, LP UNDER DOCUMENT NUMBER 20190000018549, OFFICIAL PUBLIC RECORDS, ROCKWALL COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT AN "X" FOUND IN CONCRETE FOR CORNER IN THE NORTHWEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD (37' RIGHT-OF-WAY), SAID POINT BEING THE NORTHEAST CORNER OF LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET C, SLIDE 75 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE SOUTH 88° 41' 22" WEST LEAVING THE NORTHWEST RIGHT-OF-WAY LINE OF INDUSTRIAL BOULEVARD AND ALONG THE NORTH LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION FOR A DISTANCE OF 201.41 FEET TO A 1/2" IRON ROD FOUND FOR THE POINT OF BEGINNING, SAID POINT BEING THE NORTHEAST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO, SAID POINT ALSO BEING THE NORTHWEST CORNER OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION;

THENCE SOUTH 14° 00' 33" WEST (SOUTH 13° 27' 19" WEST PER PLAT) ALONG THE EAST LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE WEST LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION FOR A DISTANCE OF 424.11 FEET (424.15 FEET PER PLAT) TO A 5/8" IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO;

THENCE NORTH 87° 49' 35" WEST (NORTH 88° 25' 12" WEST PER PLAT) LEAVING THE WEST LINE OF SAID LOT 1 OF RESUBDIVISION OF INDUSTRIAL ADDITION AND ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO, AND PASSING AT A DISTANCE OF 259.02 FEET THE NORTHEAST CORNER OF LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "G", SLIDE 227 OF THE PLAT RECORDS OF ROCKWALL COUNTY, TEXAS; AND CONTINUING ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTH LINE OF SAID LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, FOR A DISTANCE OF 522.99 FEET (523.07 FEET PER PLAT) TO A 1/2" IRON ROD FOUND FOR THE NORTHWEST CORNER OF SAID LOT 6 IN BLOCK C OF ELLIS CENTRE, PHASE TWO, SAID POINT BEING IN THE EAST RIGHT-OF-WAY LINE OF ALPHA DRIVE (60' RIGHT-OF-WAY), SAID POINT BEING THE BEGINNING OF A CURVE TO THE LEFT HAVING A RADIUS OF 57.50 FEET WITH A CENTRAL ANGLE OF 297° 15' 27" AND A CHORD BEARING SOUTH 87° 49' 35" EAST AT A DISTANCE OF 59.87 FEET;

THENCE NORTHWESTERLY AND FOLLOWING ALONG SAID CURVE TO THE LEFT AND THE RIGHT-OF-WAY LINE OF SAID ALPHA DRIVE FOR AN ARC DISTANCE OF 298.32 FEET TO A 1/2" IRON ROD WITH GCAP MARKED "EAGLE SURVEYING" FOUND FOR CORNER, SAID POINT BEING IN THE WEST RIGHT-OF-WAY LINE OF SAID ALPHA DRIVE AND ALSO BEING THE NORTHEAST CORNER OF LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING TO THE PLAT THEREOF RECORDED IN CABINET "G", SLIDE 143 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS;

THENCE NORTH 87° 49' 35" WEST (NORTH 88° 25' 12" WEST PER PLAT) AND LEAVING THE WEST LINE OF SAID ALPHA DRIVE AND FOLLOWING ALONG THE SOUTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTH LINE OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, FOR A DISTANCE OF 185.06 FEET (185.00 FEET) TO A 1/2" IRON ROD WITH YELLOW CAP FOUND FOR CORNER IN THE EAST LINE OF LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL, AN ADDITION TO THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS ACCORDING THE PLAT THEREOF RECORDED IN CABINET "H", PAGE 69 OF THE MAP RECORDS OF ROCKWALL COUNTY, TEXAS, SAID POINT BEING THE SOUTHWEST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTHWEST CORNER OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO;

THENCE NORTH 02° 09' 54" EAST (NORTH 1° 34' 52" EAST PER PLAT) AND DEPARTING THE NORTH LINE OF SAID LOT 4 IN BLOCK A OF ELLIS CENTRE, PHASE TWO, AND FOLLOWING ALONG THE WEST LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE EAST LINE OF SAID LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL FOR A DISTANCE OF 366.00 FEET (365.95 FEET PER PLAT) TO A 5/8" IRON ROD SET FOR CORNER, SAID POINT BEING THE NORTHWEST CORNER OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO AND THE NORTHEAST CORNER OF LOT 1 IN BLOCK 1 OF HERMAN E. UTLEY MIDDLE SCHOOL ADDITION;

THENCE NORTH 88° 53' 12" EAST (NORTH 88° 17' 35" EAST PER PLAT) ALONG THE NORTH LINE OF SAID LOT 1 IN BLOCK D OF ELLIS CENTRE, PHASE TWO FOR A DISTANCE OF 856.37 FEET (856.75 FEET PER PLAT) TO THE POINT OF BEGINNING AND CONTAINING 7.0200 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARINGS = STATE PLANE COORDINATE (4202 TEXAS NORTH CENTRAL ZONE) REFERENCE FRAME NORTH AMERICAN DATUM (NAD) 83(2011)

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

STATE OF TEXAS
COUNTY OF ROCKWALL

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS LOTS 2 & 3, BLOCK D, ELLIS CENTRE PHASE TWO ADDITION, A SUBDIVISION TO THE CITY OF ROCKWALL, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN ON THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. WE FURTHER CERTIFY THAT ALL OTHER PARTIES WHO HAVE A MORTGAGE OR LIEN INTEREST IN ELLIS CENTRE PHASE TWO ADDITION HAVE BEEN NOTIFIED AND SIGNED THIS PLAT.

WE UNDERSTAND AND DO HEREBY RESERVE THE EASEMENT STRIPS SHOWN ON THIS PLAT FOR THE PURPOSES STATED AND FOR THE MUTUAL USE AND ACCOMMODATION OF ALL UTILITIES DESIRING TO USE OR USING SAME. WE ALSO UNDERSTAND THE FOLLOWING;

(1) NO BUILDINGS SHALL BE CONSTRUCTED OR PLACED UPON, OVER, OR ACROSS THE UTILITY EASEMENTS AS DESCRIBED HEREIN.

(2) ANY PUBLIC UTILITY SHALL HAVE THE RIGHT TO REMOVE AND KEEP REMOVED ALL OR PART OF ANY BUILDINGS, FENCES, TREES, SHRUBS, OR OTHER GROWTHS OR IMPROVEMENTS WHICH IN ANY WAY ENDANGER OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR EFFICIENCY OF THEIR RESPECTIVE SYSTEM ON ANY OF THESE EASEMENT STRIPS; AND ANY PUBLIC UTILITY SHALL AT ALL TIMES HAVE THE RIGHT OF INGRESS OR EGRESS TO, FROM AND UPON THE SAID EASEMENT STRIPS FOR PURPOSE OF CONSTRUCTION, RECONSTRUCTION, INSPECTING, PATROLLING, MAINTAINING, AND EITHER ADDING TO OR REMOVING ALL OR PART OF THEIR RESPECTIVE SYSTEM WITHOUT THE NECESSITY OF, AT ANY TIME, PROCURING THE PERMISSION OF ANYONE.

(3) THE CITY OF ROCKWALL WILL NOT BE RESPONSIBLE FOR ANY CLAIMS OF ANY NATURE RESULTING FROM OR OCCASIONED BY THE ESTABLISHMENT OF GRADE OF STREETS IN THE SUBDIVISION.

(4) THE DEVELOPER AND SUBDIVISION ENGINEER SHALL BEAR TOTAL RESPONSIBILITY FOR STORM DRAIN IMPROVEMENTS.

(5) THE DEVELOPER SHALL BE RESPONSIBLE FOR THE NECESSARY FACILITIES TO PROVIDE DRAINAGE PATTERNS AND DRAINAGE CONTROLS SUCH THAT PROPERTIES WITHIN THE DRAINAGE AREA ARE NOT ADVERSELY AFFECTED BY STORM DRAINAGE FROM THE DEVELOPMENT.

(6) NO HOUSE DWELLING UNIT, OR OTHER STRUCTURE SHALL BE CONSTRUCTED ON ANY LOT IN THIS ADDITION BY THE OWNER OR ANY OTHER PERSON UNTIL THE DEVELOPER AND/OR OWNER HAS COMPLIED WITH ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF ROCKWALL REGARDING IMPROVEMENTS WITH RESPECT TO THE ENTIRE BLOCK ON THE STREET OR STREETS ON WHICH PROPERTY ABUTS, INCLUDING THE ACTUAL INSTALLATION OF STREETS WITH THE REQUIRED BASE AND PAVING, CURB AND GUTTER, WATER AND SEWER, DRAINAGE STRUCTURES, STORM STRUCTURES, STORM SEWERS, AND ALLEYS, ALL ACCORDING TO THE SPECIFICATIONS OF THE CITY OF ROCKWALL; OR

(7) THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, REPAIRS, AND RECONSTRUCTION OF DRAINAGE AND DETENTION EASEMENTS ON SITE.

UNTIL AN ESCROW DEPOSIT, SUFFICIENT TO PAY FOR THE COST OF SUCH IMPROVEMENTS, AS DETERMINED BY THE CITY’S ENGINEER AND/OR CITY ADMINISTRATOR, COMPUTED ON A PRIVATE COMMERCIAL RATE BASIS, HAS BEEN MADE WITH THE CITY SECRETARY, ACCOMPANIED BY AN AGREEMENT SIGNED BY THE DEVELOPER AND/OR OWNER, AUTHORIZING THE CITY TO MAKE SUCH IMPROVEMENTS AT PREVAILING PRIVATE COMMERCIAL RATES, OR HAVE THE SAME MADE BY A CONTRACTOR AND PAY FOR THE SAME OUT OF THE ESCROW DEPOSIT, SHOULD THE DEVELOPER AND/OR OWNER FAIL OR REFUSE TO INSTALL THE REQUIRED IMPROVEMENTS WITHIN THE TIME STATED IN SUCH WRITTEN AGREEMENT, BUT IN NO CASE SHALL THE CITY BE OBLIGATED TO MAKE SUCH IMPROVEMENTS ITSELF. SUCH DEPOSIT MAY BE USED BY THE OWNER AND/OR DEVELOPER AS PROGRESS PAYMENTS AS THE WORK PROGRESSES IN MAKING SUCH IMPROVEMENTS BY MAKING CERTIFIED REQUISITIONS TO THE CITY SECRETARY, SUPPORTED BY EVIDENCE OF WORK DONE; OR

UNTIL THE DEVELOPER AND/OR OWNER FILES A CORPORATE SURETY BOND WITH THE CITY SECRETARY IN A SUM EQUAL TO THE COST OF SUCH IMPROVEMENTS FOR THE DESIGNATED AREA, GUARANTEEING THE INSTALLATION THEREOF WITHIN THE TIME STATED IN THE BOND, WHICH TIME SHALL BE FIXED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL.

WE FURTHER ACKNOWLEDGE THAT THE DEDICATIONS AND/OR EXACTION’S MADE HEREIN ARE PROPORTIONAL TO THE IMPACT OF THE SUBDIVISION UPON THE PUBLIC SERVICES REQUIRED IN ORDER THAT THE DEVELOPMENT WILL COMPORT WITH THE PRESENT AND FUTURE GROWTH NEEDS OF THE CITY; WE, OUR SUCCESSORS AND ASSIGNS HEREBY WAIVE ANY CLAIM, DAMAGE, OR CAUSE OF ACTION THAT WE MAY HAVE AS A RESULT OF THE DEDICATION OF EXACTIONS MADE HEREIN.

NOTE: IT SHALL BE THE POLICY OF THE CITY OF ROCKWALL TO WITHHOLD ISSUING BUILDING PERMITS UNTIL ALL STREETS, WATER, SEWER AND STORM DRAINAGE SYSTEMS HAVE BEEN ACCEPTED BY THE CITY. THE APPROVAL OF A PLAT BY THE CITY DOES NOT CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE THAT ANY BUILDING WITHIN SUCH PLAT SHALL BE APPROVED, AUTHORIZED OR PERMIT THEREOF ISSUED, NOR SHALL SUCH APPROVAL CONSTITUTE ANY REPRESENTATION, ASSURANCE OR GUARANTEE BY THE CITY OF THE ADEQUACY AND AVAILABILITY FOR WATER FOR PERSONAL USE AND FIRE PROTECTION WITHIN SUCH PLAT, AS REQUIRED UNDER ORDINANCE 83-54.

THIS PLAT APPROVED SUBJECT TO ALL PLATTING ORDINANCES, RULES, REGULATIONS, AND RESOLUTIONS OF THE CITY OF ROCKWALL.

WITNESS, MY HAND AT DALLAS, TEXAS, THIS THE _____ DAY OF _____, 2020.

ELLIS CENTRE PHASE TWO ADDITION

BY: _____
(NAME / TITLE)

STATE OF TEXAS
COUNTY OF ROCKWALL

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UPON MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2020.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS
MY COMMISSION EXPIRES:

SURVEYOR’S CERTIFICATE

NOW, THEREFORE KNOW ALL MEN BY THESE PRESENTS: THAT I, DAVID PETREE, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION.

DAVID PETREE
REGISTERED PROFESSIONAL
LAND SURVEYOR NO. 1890

RECOMMENDED FOR FINAL APPROVAL

PLANNING AND ZONING COMMISSION

PLANNING & ZONING

APPROVED

I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF AN ADDITION TO THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 2020.

THIS APPROVAL SHALL BE INVALID UNLESS THE APPROVED PLAT FOR SUCH ADDITION IS RECORDED IN THE OFFICE OF THE COUNTY CLERK OF ROCKWALL, COUNTY, TEXAS, WITHIN ONE HUNDRED EIGHTY (180) DAYS FROM SAID DATE OF FINAL APPROVAL.

WITNESS OUR HANDS, THIS _____ DAY OF _____, 2020.

MAYOR, CITY OF ROCKWALL

CITY SECRETARY

CITY ENGINEER



BLUE SKY SURVEYING
& MAPPING, CORPORATION
11015 MIDWAY ROAD
DALLAS, TEXAS 75229
PHONE: (214) 358-4500
FAX: (214) 358-4600
DRPETREE@BLUESKYSURVEYING.COM
TBPLS REGISTRATION No. 10105700

OWNER
ROCKWALL URBAN INDUSTRIAL, LP
13150 COIT ROAD, SUITE 205
DALLAS, TEXAS 75240

NOTE:

THE PURPOSE OF THIS PLAT IS TO ABANDON EXISTING AND DEDICATE NEW EASEMENTS.

FINAL REPLAT
LOTS 2 & 3, BLOCK D
ELLIS CENTRE PHASE TWO
BEING A REPLAT OF LOT 1, BLOCK D
ELLIS CENTRE PHASE TWO ADDITION
BEING A 7.0200-ACRE PARCEL
A. HANNA SURVEY, ABSTRACT 99
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

MARCH 9, 2020

CASE NO. _____

SHEET 3 OF 3



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 28, 2020

APPLICANT: Brian Parsons

CASE NUMBER: Z2020-009; *SUP for an Indoor Motor Vehicle Dealership/Showroom at 2635 Observation Trail*

SUMMARY

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

BACKGROUND

The subject property was annexed on December 3, 1985 [*Ordinance No. 85-69*] and is zoned Light Industrial (LI) District. On July 2, 2018, the City Council approved a replat [*Case No. P2018-020*] for the subject property establishing two (2) lots (*i.e. Lots 8 & 9, Block D, Rockwall Technology Park Addition*). On February 13, 2018, the Planning and Zoning Commission approved a site plan [*Case No. SP2018-002*] for the construction of a ~228,421 SF warehouse/manufacturing/office facility [*i.e. Interstate Wire Co., Inc.*] on the subject property, and forwarded a recommendation of approval for the associated variances to the City Council. On February 19, 2018, the City Council approved the variances as requested for the subject property. More recently, the building on the subject property was completed [*BLD2018-3207*], and the applicant requested three (3) Certificates of Occupancy (CO's) (*i.e. Interstate Wire Co. [CO2020-0016], Interstate Classic Cars [CO2020-0017], and Agave Wire, LTD [CO2020-018]*). The CO's for Interstate Wire and Agave Wire were issued; however, staff determined that a Specific Use Permit (SUP) would be required prior to the issuance of the CO for Interstate Classic Cars.

PURPOSE

The applicant, Brian Parsons on behalf of J. R. Fleming Investments, is requesting the approval of a Specific Use Permit (SUP) to allow a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 2635 Observation Trail, Suite 110, within the Rockwall Technology Park. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Observation Trail along with several industrial buildings that are within the Rockwall Technology Park and zoned Light Industrial (LI) District. Adjacent to the Rockwall Technology Park is a 44.127-acre vacant tract of land zoned Agricultural (AG) District, followed by several businesses zoned Light Industrial (LI) District and Agricultural (AG) District. Beyond this is IH-30, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation roadway, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a continuation of Rockwall Technology Park with several industrial buildings zoned for Light Industrial (LI) District land uses and Discovery Boulevard, which is identified as an M4U (*i.e. major arterial, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan. Beyond this is SH-276, which is identified as a TXDOT6D (*i.e. Texas Department of Transportation roadway, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan.

East: Directly east of the subject property is a continuation of Rockwall Technology Park with two (2) industrial buildings zoned Light Industrial (LI) District and Science Place. Beyond this is FM-3549 (*i.e. Corporate Crossing*), which is identified as a TXDOT4D (*i.e. Texas Department of Transportation roadway, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this is a continuation of Rockwall Technology Park with several industrial buildings zoned Light Industrial (LI) District.

West: Directly west of the subject property is Innovation Drive followed by Pegasus Foods, which is located on an 8.482-acre parcel of land zoned Light Industrial (LI) District. Beyond this is Planned Development District 83 (PD-83) for multi-family land uses.

CHARACTERISTICS OF THE REQUEST

On November 11, 2014, the City Council approved an ordinance that added the *New and/or Used Indoor Motor Vehicle Dealership/Showroom* land use to the *Permissible Use Charts* contained in the UDC. This new change requires a SUP within the Commercial (C), Heavy Commercial (HC), Light Industrial (LI), or Heavy Industrial (HI) District. This ordinance defined this land use as, "(t)he indoor storage of operable automobiles in a fully enclosed building for the purpose of holding such vehicles for sale, lease, distribution, or storage." The applicant's letter requesting the SUP indicates the indoor motor vehicle showroom includes a private collection of antique and/or special interest vehicles. The business model is generally internet based -- *not traditional auto sales* -- with on hand inventory that is limited to the interior of the buildings showroom floor. In addition, the applicant has indicated that only five (5) to ten (10) vehicles will be sold per year. Additionally, the applicant's letter submitted with the SUP request indicates the area to be ~10,000 S.F. within a ~250,000 S.F. building.

If approved, the SUP would be limited to the enclosed ~10,000 SF building area designated in the ordinance and addressed as 2610 Observation Trail, Suite 110. Per the Specific Use Permit (SUP) ordinance the proposed land use could not expand beyond Suite 110, within the ~228,000 SF building.

CONFORMANCE WITH THE CITY'S CODES

According to Section 01, *Land Use Schedule*, of Article 04, *Uses of Land and Buildings*, of the Unified Development Code (UDC) the *New and/or Used Indoor Motor Vehicle Dealership/Showroom* is permitted with a Specific Use Permit (SUP) in a Light Industrial (LI) District. Subsection 02.03.H.5, *Auto and Marine-Related Land Use Conditions*, of Article 04, *Permissible Uses*, of the Unified Development Code outlines the special conditions for this use. The following is a summary of the applicant's request and its compliance to these special conditions:

<i>Code Requirement</i>	<i>Proposed Plan</i>	<i>Compliance</i>
The sale/storage facility must be a completely enclosed building.	10,000 SF Indoor Facility	Yes
Outside display or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures.	10,000 SF Indoor Facility. There will be no outside display of vehicles.	Yes
All activities shall remain inside the building (<i>i.e. no detailing, sales activities or other operation activities shall be performed outside the building</i>).	10,000 SF Indoor Facility	Yes
Accessory uses may be allowed in compliance with Land Use Schedule).	N/A	N/A
The indoor motor vehicle dealership shall be restricted to the sale of motor vehicles only (<i>i.e. cars and light trucks</i>).	Limited to Trucks, Cars and SUV's Primarily Used Vehicles	Yes

All operations of an *indoor motor vehicle dealership/showroom* requires all activities to be located within the interior of the building (*i.e. no outside display or storage of vehicles, no outdoor detailing or sales activities, etc.*). Additionally, the SUP restricts the indoor sales to motor vehicles only (*i.e. cars and light trucks*). It should be noted the applicant's letter indicates compliance with these requirements, with the addition that the sales operation is limited by appointment only and the showroom will not be open to the general public.

STAFF ANALYSIS

When looking at the applicant's request, to allow the *New and/or Used Indoor Motor Vehicle Dealership/Showroom* in a Light Industrial (LI) District, the applicant appears to be conforming to the *Conditional Land Use Standards* and definitions contained in Subsection 02.03.H.5, *Auto and Marine-Related Land Use Conditions*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The Planning and Zoning Commission is charged with determining if the proposed request will negatively impact the subject property and the surrounding properties. Additionally, staff should note that the subject property is located within the Rockwall Technology Park; however, the operation and storage of the private collection/antique vehicles will be located indoors, is by appointment only, and will not be open to the general public. Staff should also note that the Rockwall Economic Development Corporation (REDC) has contacted staff to state that they were not opposed to the applicant's request. Based on this, the applicant's request does not appear to negatively impact the subject property or surrounding properties; however, approval of this request is a discretionary decision for the City Council, pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 8, 2020, staff mailed 23 notices to property owners and residents within 500-feet of the *subject property*. As a note, there are no Homeowner's Associations (HOA's) or Neighborhood Organizations located within 1,500-feet of the *subject property* participating in the notification program. At the time this case memo was drafted staff had not received any notices regarding the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to allow for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (1) The area designated for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to Suite 110 (*i.e.* ~10,000 SF) of 2635 Observation Trail as depicted in *Exhibit 'B'* of the draft ordinance; and,
 - (2) The sales/storage facility must be in a completely enclosed building; and,
 - (3) Outside display and/or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures; and,
 - (4) All activities shall remain inside the building (*i.e.* no detailing, washing, sales activities, etcetera shall be performed outside the building); and,
 - (5) Accessory uses may be allowed in compliance with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC); and,
 - (6) The *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to the sale of motor vehicles only (*i.e.* cars and/or light trucks); and,
 - (7) The subject property shall comply with all standard of the City of Rockwall Fire Department for such use.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall

Project Plan Review History



Project Number	Z2020-009	Owner	J R FLEMING INVESTMENTS LLC			Applied	3/13/2020	AG
Project Name	2635 Observation Trail, Suite 110	Applicant	BRIAN PARSONS			Approved		
Type	ZONING					Closed		
Subtype	SUP					Expired		
Status	Staff Review					Status		
Site Address		City, State Zip						
2935 OBSERVATION		ROCKWALL, TX 75032			Zoning			
Subdivision		Tract		Block	Lot No	Parcel No	General Plan	
ROCKWALL TECHNOLOGY PARK		9		D	9	4816-000D-0009-00-OR		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/13/2020	3/20/2020				
ENGINEERING	Sarah Johnston	3/13/2020	3/20/2020	3/26/2020	13	APPROVED	
FIRE	Ariana Hargrove	3/13/2020	3/20/2020	3/25/2020	12	APPROVED	
PLANNING	David Gonzales	3/13/2020	3/20/2020	3/30/2020	17	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
<p>(3/30/2020 4:28 PM DG)</p> <p>Z2020-009; SUP for Indoor Motor Vehicle Dealership– 2635 Observation Trail</p> <p>Please address the following comments (M= Mandatory Comments; I = Informational Comments)</p>						
<p>I.1 This is a request for the approval of a Specific Use Permit (SUP) for a New and/or Used Indoor Motor Vehicle Dealership/Showroom on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110.</p>						
<p>I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.</p>						
<p>M.3 For reference, include the case number (Z2020-009) in the lower right-hand corner of all pages of all revised plan submittals (if any).</p>						
<p>I.4 This project is subject to all requirements stipulated by the Unified Development Code (UDC), and the Development Standards of Article 04 & Article 05 that are applicable to the subject property.</p>						
<p>M.5 Please review the draft ordinance when received by staff and provide comments to staff by April 21, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting (i.e. Public Hearing) to be held on April 28, 2020.</p>						
<p>M.6 Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a New and/or Used Indoor Motor Vehicle Dealership/Showroom on the Subject Property, and conformance to these operational conditions is required for continued operations</p>						
<p>(a) The sales/storage facility must be a completely enclosed building</p> <p>(b) Outside display or storage of vehicles shall be prohibited This includes storing vehicles under canopies/awnings or similar covered structures.</p> <p>(c) All activities shall remain inside the building (i.e. no detailing, sales activities, et cetera shall be performed outside the building).</p> <p>(d) Accessory uses may be allowed in compliance with Land Use Schedule.</p>						
<p>I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting (Public Hearing).</p>						
<p>I.8 Please note the scheduled meetings for this case:</p>						
<p>1) Planning & Zoning Work Session meeting will be held on April 14, 2020.</p> <p>2) Planning & Zoning Public Hearing meeting will be held on April 28, 2020.</p> <p>3) City Council Public Hearing will be held on May 4, 2020. (1st Reading of Ordinance)</p> <p>4) City Council meeting will be held on May 18, 2020. (2nd Reading of Ordinance)</p>						
<p>I.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.</p>						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 2635 Observation Trail, Suite 110, Rockwall, Texas

Subdivision Rockwall Technology Park

Lot

9

Block

D

General Location Rockwall Technology Park

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning Light Industrial

Current Use Manufacturing/Distribution

Proposed Zoning SUP

Proposed Use Manufacturing/Dist'n/Indoor Auto Showroom

Acreage 11.153

Lots [Current]

N/A

Lots [Proposed]

N/A

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner J R Fleming Investments

☒ Applicant Brian Parsons

Contact Person Jeff Fleming

Contact Person

Address PO Box 489

Address 2635 Observation Trail

City, State & Zip Rockwall, Texas 75087

City, State & Zip Rockwall, Texas 75032

Phone 214.503.2581

Phone 940.452.0143

E-Mail FlemingJ@InterstateWire.com

E-Mail ParsonsB@InterstateWire.com

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Notary Public In and for the State of Texas

My Commission Expires



2635 Observation Trail
Rockwall, Texas 75032
214.503.2581 phone
800.527.0010 sales
www.interstatewire.com

March 12, 2020

Mr. Ryan Miller
Director of Planning & Zoning
Planning and Zoning Division
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

Re: Specific Use Permit for Interstate Classic Cars, Suite 110

Mr. Miller,

Please accept this summary as an addendum to the Development Application, as prepared and submitted concurrently, in support of the proposed zoning revision for our applicable property located at 2635 Observation Trail, Rockwall. The existing facility is composed of three suites, with Suites 120 and 130 being appropriately categorized as Light Industrial, with only the third suite being included within the scope of this request for a Specific Use Permit. This suite, Suite 110, consumes approximately 10,000 sq. ft. of the estimated 250,000 sq. ft. structure.

Mr. Jeff Fleming (J R Fleming Investments) recently relocated his manufacturing and distribution businesses (Interstate Wire Company, Inc and Agave Wire LLC) to Rockwall, Texas, as a result of the promotional efforts conducted by the Rockwall Economic Development Corporation. Part of the relocation initiative included the relocation of Interstate Classic Cars (ICC), an Indoor Motor Vehicle Showroom, which includes a private collection of antique and/or special interest vehicles. ICC may acquire or dispose of five to ten vehicles per a year, with an inventory not exceeding twenty vehicles at any time within the past five years.

Please note that all planned activities at this location will comply with restrictions as defined within Subsection 2.03, Auto and Marine-Related Land Uses, New and/or Used Indoor Motor Vehicle Dealership/Showroom. All vehicles and related activities will be contained and enclosed within the building envelope, with no outside storage or display. Hours of operations will be limited to appointments only, with the showroom not being open to the general public.

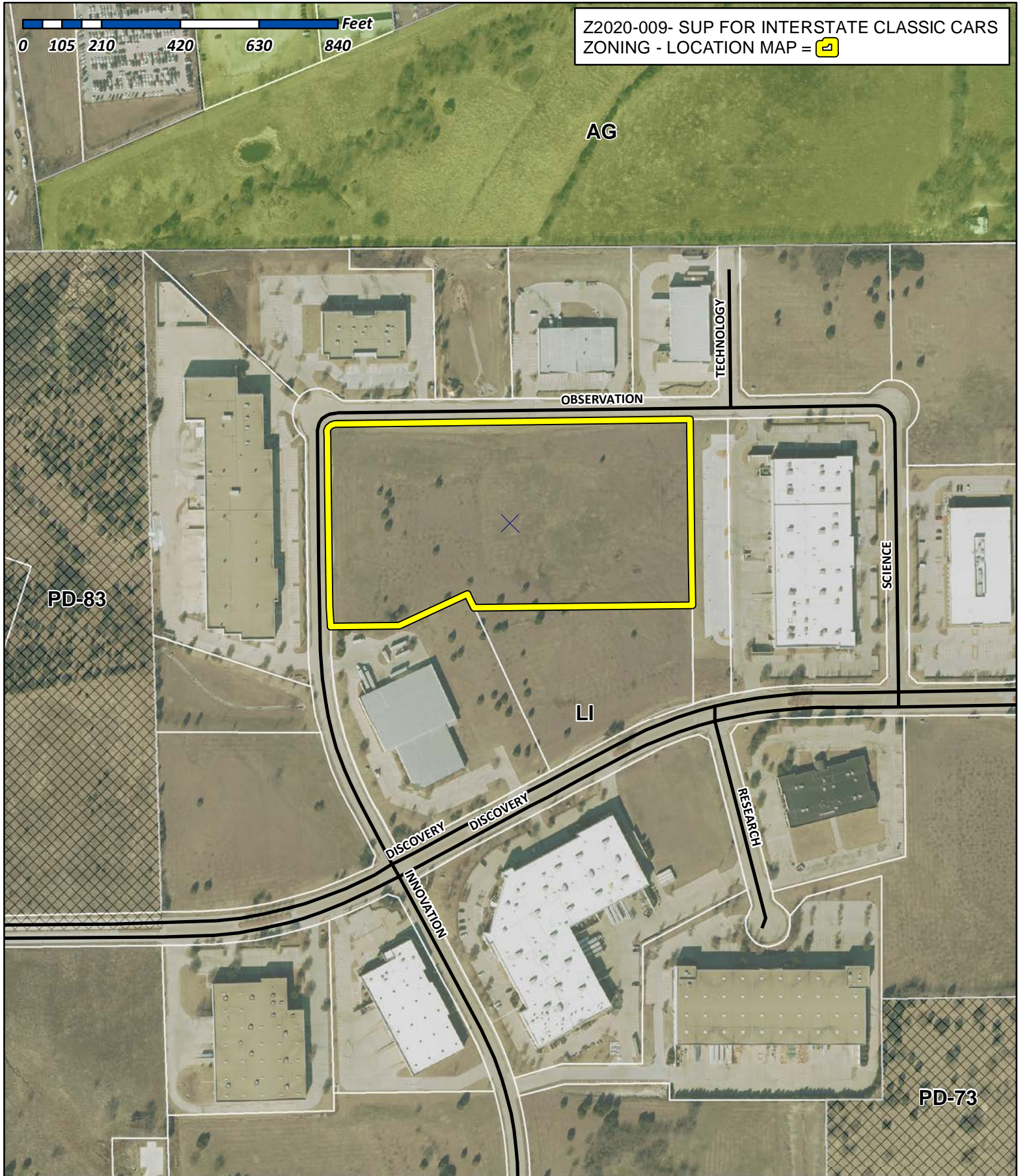
If you have any questions or concerns regarding the application or this addendum, please contact me at your convenience at the number above, or email at parsonsb@interstatewire.com.

Best Regards,



W. Brian Parsons
President & CEO
Interstate Wire Company, Inc.

Cc Jeff Fleming



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

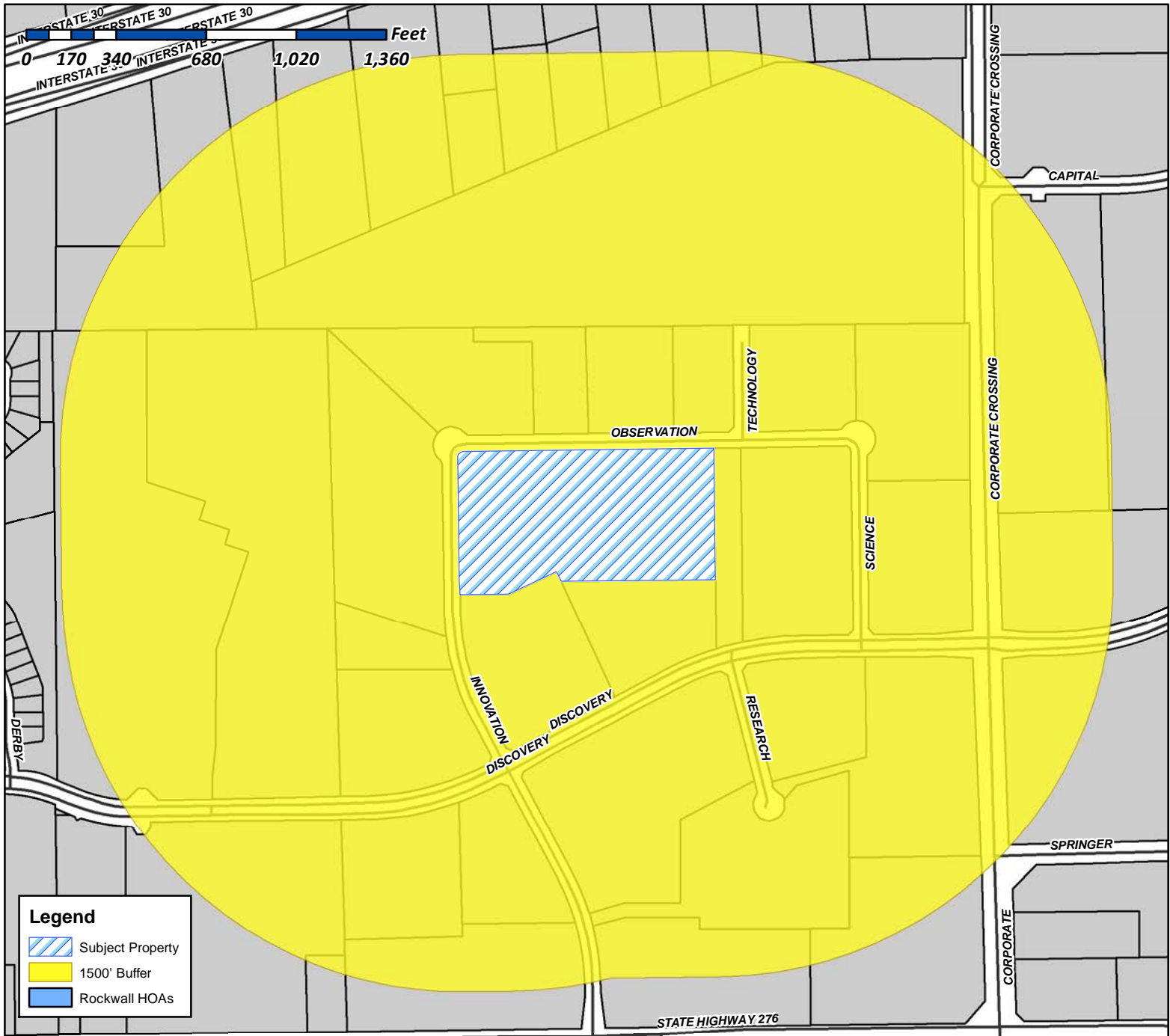




City of Rockwall

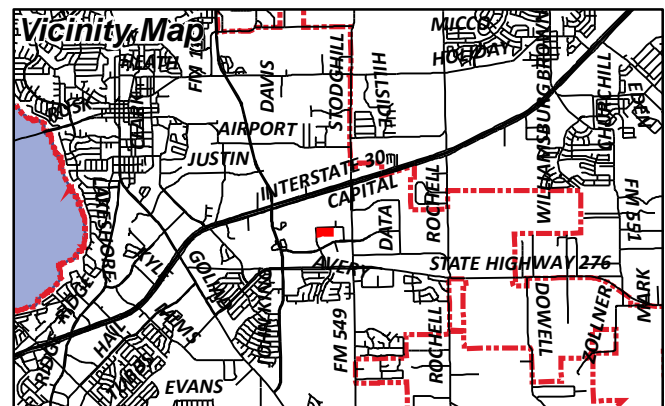
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-009
Case Name: SUP for Interstate Classic Cars
Case Type: Specific Use Permit
Zoning: Light Industrial (LI) District
Case Address: 2635 Observation Trail, Suite 110

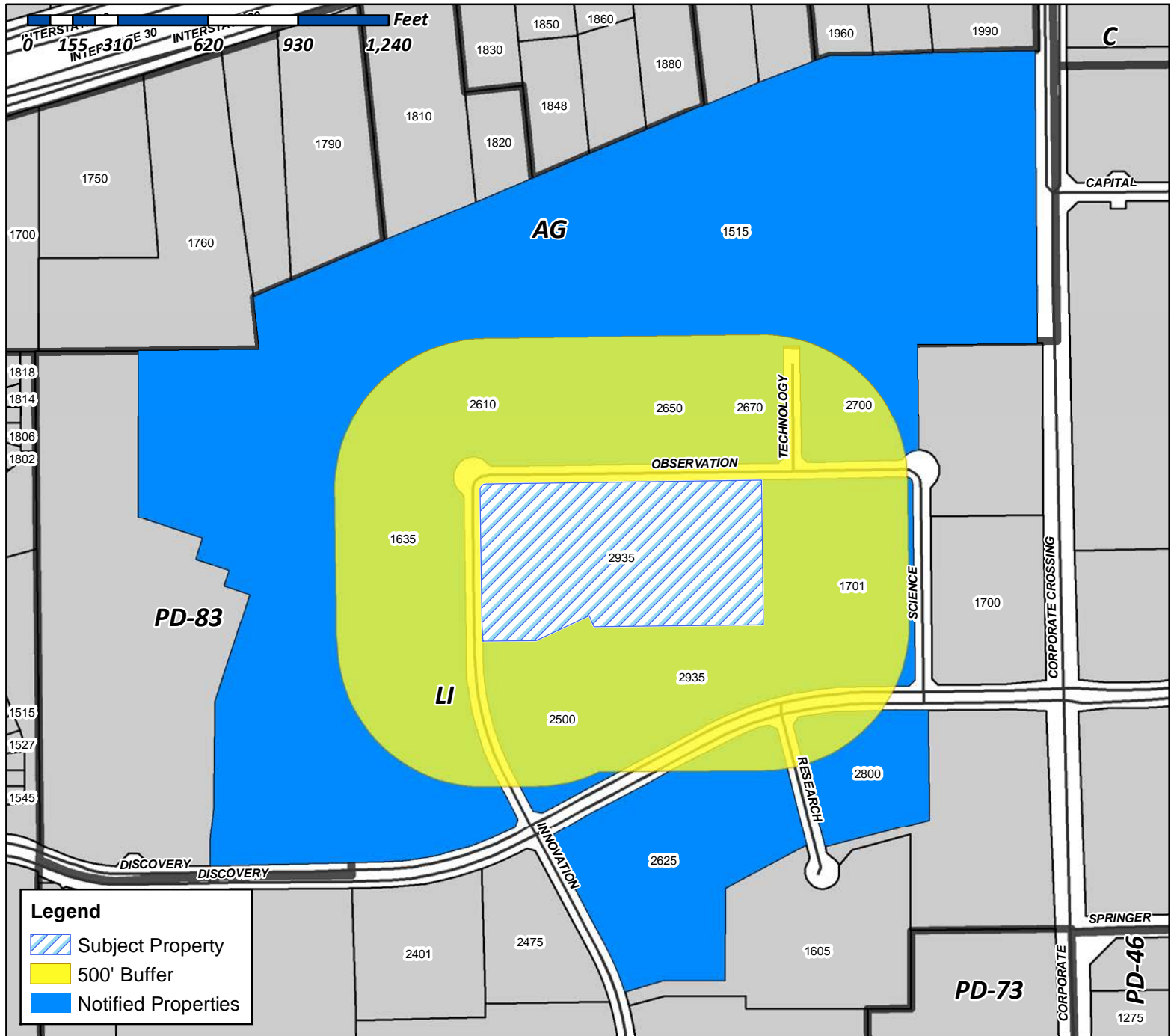
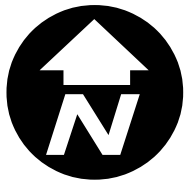
Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745



City of Rockwall

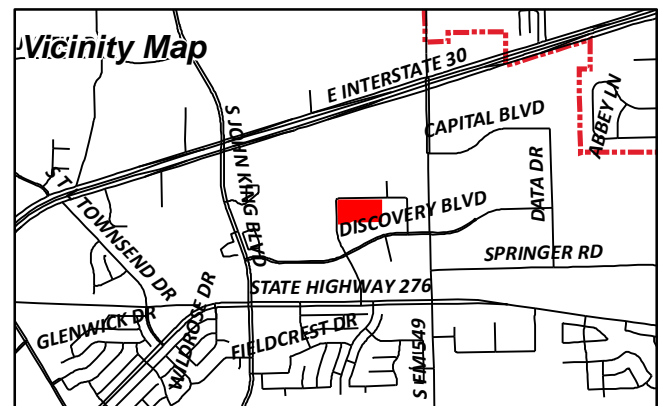
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
DISCOVERY BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
INNOVATION DR
ROCKWALL, TX 75032

CURRENT RESIDENT
OBSERVATION TRAIL
ROCKWALL, TX 75032

J R FLEMING INVESTMENTS LLC
10355 SANDEN DRIVE
DALLAS, TX 75238

CURRENT RESIDENT
1515 CORPORATE CROSSING
ROCKWALL, TX 75032

CURRENT RESIDENT
1635 INNOVATION DR
ROCKWALL, TX 75032

BELLE HAV/TEX LP
1690 WOODSIDE RD STE 120
REDWOOD CITY, CA 94061

CURRENT RESIDENT
1701 SCIENCE PLACE
ROCKWALL, TX 75032

Z06 PROPERTIES INC
2500 DISCOVERY BLVD
ROCKWALL, TX 75032

CURRENT RESIDENT
2610 OBSERVATION TRAIL
ROCKWALL, TX 75032

SPECIAL PRODUCTS REALTY LTD
2625 DISCOVERY BLVD
ROCKWALL, TX 75032

PRECISION SHEET METAL SHOP INC
2650 OBSERVATION TRL
ROCKWALL, TX 75032

CURRENT RESIDENT
2670 OBSERVATION TRAIL
ROCKWALL, TX 75032

CURRENT RESIDENT
2700 OBSERVATION TRAIL
ROCKWALL, TX 75032

CURRENT RESIDENT
2800 DISCOVERY BLVD
ROCKWALL, TX 75032

JBC LAND & CATTLE COMPANY LLC
2905 DUBLIN RD
PARKER, TX 75002

CURRENT RESIDENT
2935 OBSERVATION TRAIL
ROCKWALL, TX 75032

TREADWELL FAMILY TRUST AND
JANIEKS FAMILY TRUST
5161 VISTA MIGUEL DR
LA CANADA, CA 91011

PNEUMA VENTURES LTD
714 SANCTUARY WAY
HEATH, TX 75032

HITT FAMILY LIMITED PARTNERSHIP
7836 YAMINI DR
DALLAS, TX 75230

AMBATIELOS EVANGELOS & VASILIKI
JAMES E ZAFERIS & JOANNA ZAFERIS
P. O. BOX 86404
LOS ANGELES, CA 90086

KRT ENTERPRISES INC
PO BOX 1103
ROCKWALL, TX 75087

ROCKWALL ECONOMIC DEVELOPMENT
PO BOX 968
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-009: SUP for a New and/or Used Motor Vehicle Dealership/Showroom at 2635 Observation Trail

Hold a public hearing to discuss and consider a request by Brian Parsons on behalf of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) for a New and/or Used Indoor Motor Vehicle Dealership/Showroom on an 11.153-acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-009: SUP for a New and/or Used Motor Vehicle Dealership/Showroom at 2635 Observation Trail

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



2635 Observation Trail
Rockwall, Texas 75032
214.503.2581 phone
800.527.0010 sales
www.interstatewire.com

March 12, 2020

Mr. Ryan Miller
Director of Planning & Zoning
Planning and Zoning Division
City of Rockwall
385 S. Goliad Street
Rockwall, TX 75087

Re: Specific Use Permit for Interstate Classic Cars, Suite 110

Mr. Miller,

Please accept this summary as an addendum to the Development Application, as prepared and submitted concurrently, in support of the proposed zoning revision for our applicable property located at 2635 Observation Trail, Rockwall. The existing facility is composed of three suites, with Suites 120 and 130 being appropriately categorized as Light Industrial, with only the third suite being included within the scope of this request for a Specific Use Permit. This suite, Suite 110, consumes approximately 10,000 sq. ft. of the estimated 250,000 sq. ft. structure.

Mr. Jeff Fleming (J R Fleming Investments) recently relocated his manufacturing and distribution businesses (Interstate Wire Company, Inc and Agave Wire LLC) to Rockwall, Texas, as a result of the promotional efforts conducted by the Rockwall Economic Development Corporation. Part of the relocation initiative included the relocation of Interstate Classic Cars (ICC), an Indoor Motor Vehicle Showroom, which includes a private collection of antique and/or special interest vehicles. ICC may acquire or dispose of five to ten vehicles per a year, with an inventory not exceeding twenty vehicles at any time within the past five years.

Please note that all planned activities at this location will comply with restrictions as defined within Subsection 2.03, Auto and Marine-Related Land Uses, New and/or Used Indoor Motor Vehicle Dealership/Showroom. All vehicles and related activities will be contained and enclosed within the building envelope, with no outside storage or display. Hours of operations will be limited to appointments only, with the showroom not being open to the general public.

If you have any questions or concerns regarding the application or this addendum, please contact me at your convenience at the number above, or email at parsonsb@interstatewire.com.

Best Regards,



W. Brian Parsons
President & CEO
Interstate Wire Company, Inc.

Cc Jeff Fleming





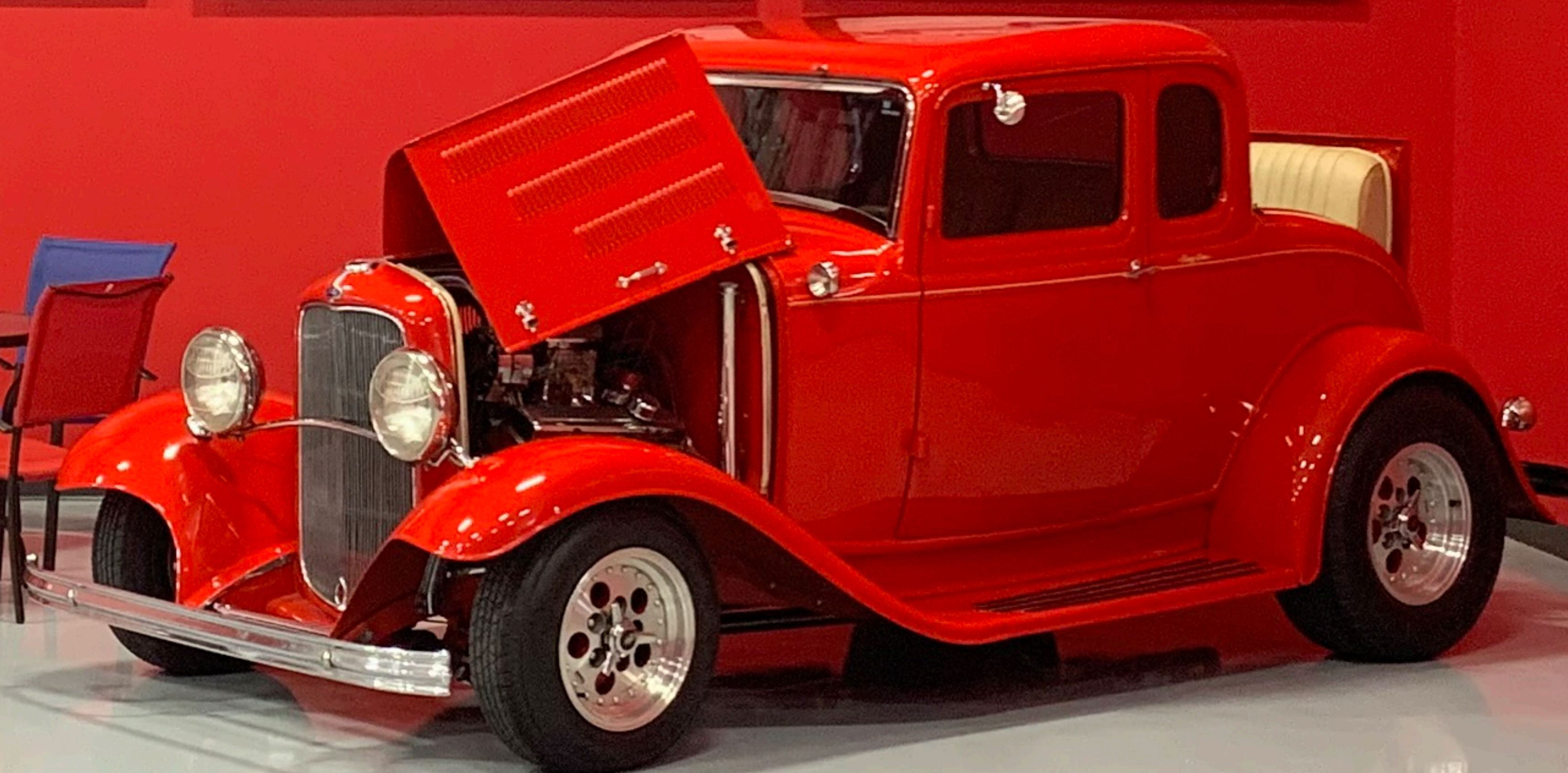
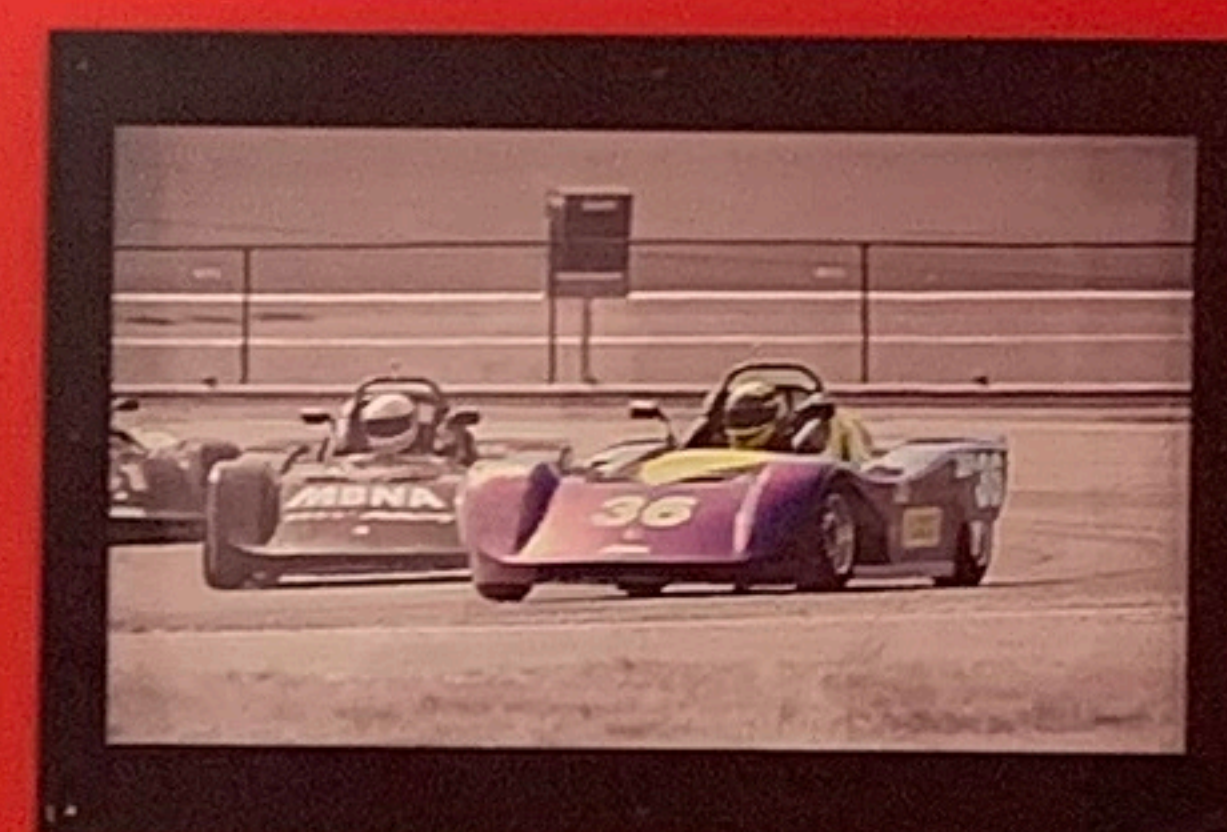
FIRE LANE NO PARKING







EXIT



 Interstate Classic Cars





'67
Corvette
Hendrick

1967 Chevrolet Corvette Convertible
Beautiful 427 Corvette Roadster in Pristine Condition

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO FURTHER AMEND THE ZONING MAP TO ADOPT A SPECIFIC USE PERMIT (SUP) WITHIN A LIGHT INDUSTRIAL (LI) DISTRICT ALLOWING FOR A NEW AND/OR USED INDOOR MOTOR VEHICLE DEALERSHIP/SHOWROOM ON A 11.153-ACRE PARCEL OF LAND IDENTIFIED AS LOT 9, BLOCK D, ROCKWALL TECHNOLOGY PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Brian Parsons on behalf of Jeff Fleming of J. R. Fleming Investments for the approval of a Specific Use Permit (SUP) to allow for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* to be located on an 11.153 acre parcel of land identified as Lot 9, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 2635 Observation Trail, Suite 110, and more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for an *Indoor Motor Vehicle Dealership/Showroom* within a Light Industrial (LI) District, as stipulated by Subsection 02.03.H.5, *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] for the *Subject Property*, and,

SECTION 2. That the Specific Use Permit shall be subject to the conditions set forth in Subsection 02.03.H.5, *Auto and Marine-Related Land Uses*, of Article 04, *Permissible Uses*, and Subsection 05.01, *General Industrial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] as heretofore amended, as

amended herein by granting of this zoning change, and as may be amended in the future, and shall be subject to the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* on the *Subject Property*, and conformance to these operational conditions is required for continued operations:

- (1) The area designated for a *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to Suite 110 (i.e. ~10,000 SF) of 2635 Observation Trail as depicted in Exhibit 'B' of this ordinance; and,
- (2) The sales/storage facility must be in a completely enclosed building; and,
- (3) Outside display and/or storage of vehicles shall be prohibited. This includes storing vehicles under canopies/awnings or similar covered structures; and,
- (4) All activities shall remain inside the building (i.e. *no detailing, washing, sales activities, etcetera shall be performed outside the building*); and,
- (5) Accessory uses may be allowed in compliance with the *Land Use Schedule* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC); and,
- (6) The *New and/or Used Indoor Motor Vehicle Dealership/Showroom* shall be restricted to the sale of motor vehicles only (i.e. *cars and/or light trucks*); and,
- (7) The subject property shall comply with all standard of the City of Rockwall Fire Department for such use.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining or maintaining a Certificate of Occupancy (CO), should any business or establishment operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and

each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A':
Zoning Exhibit

Location: 2635 Observation Trail

Legal Description: Lot 9, Block D, Technology Park Addition

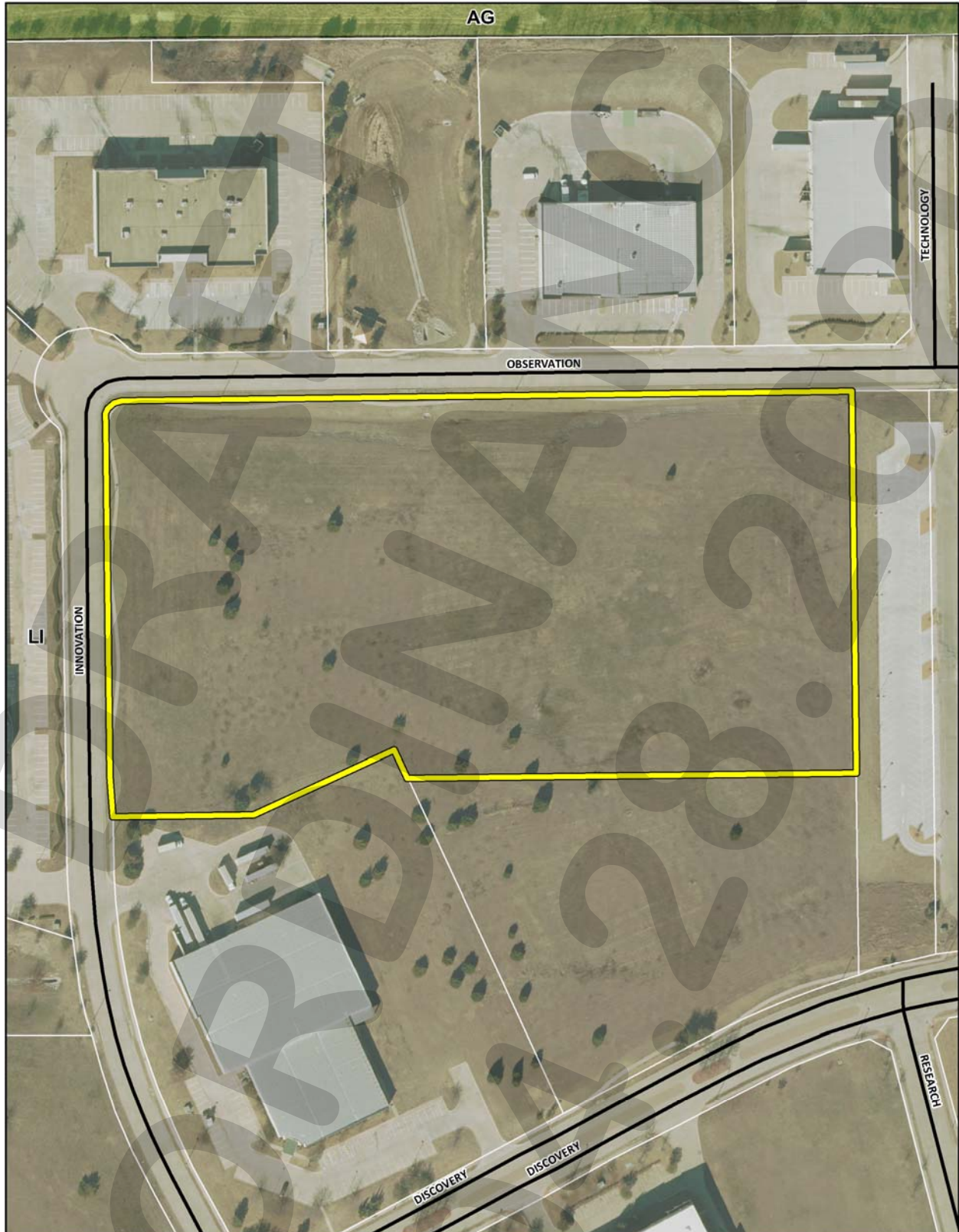
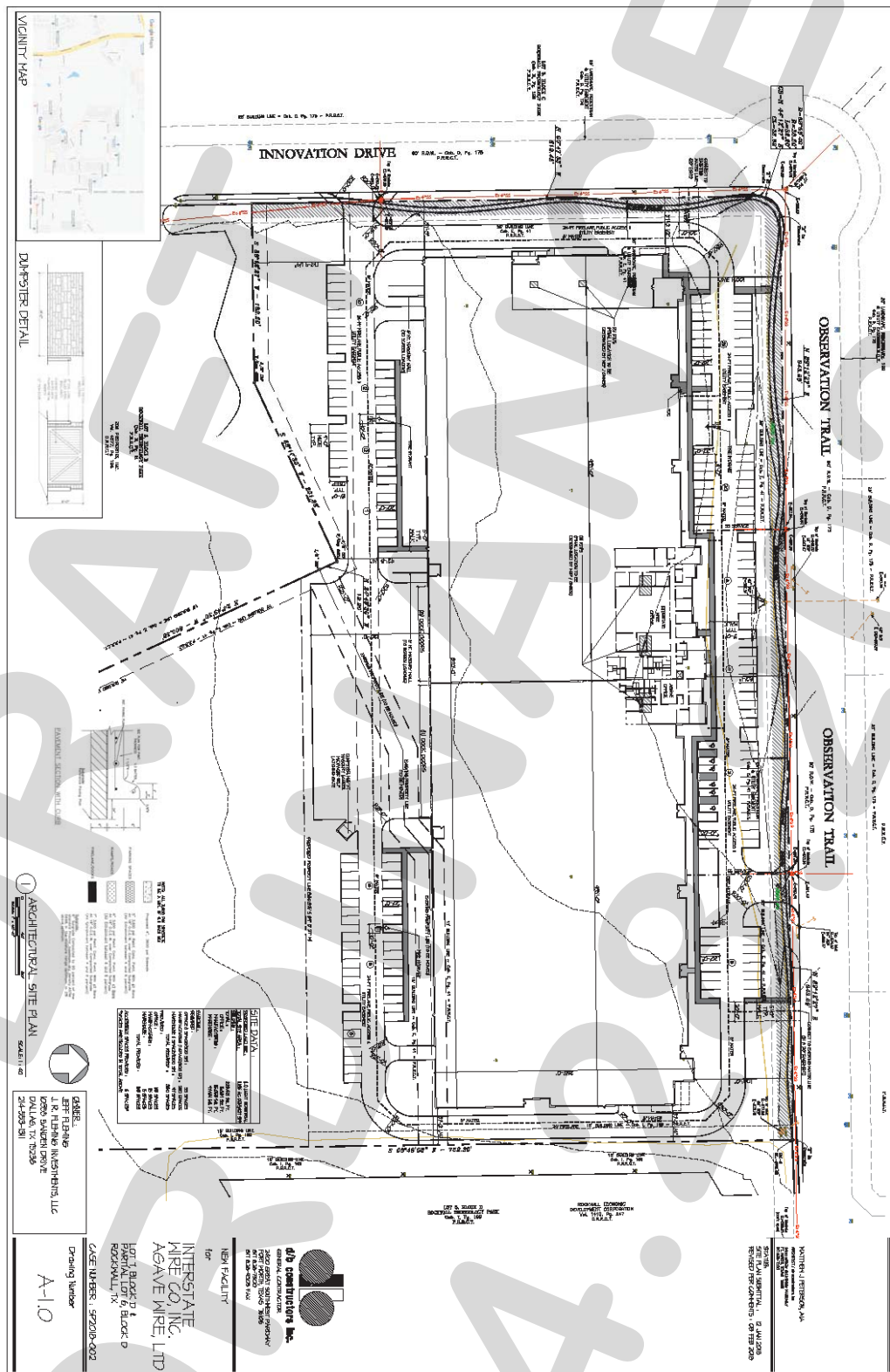


Exhibit 'B':
Site Plan





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 28, 2020

APPLICANT: Edwin Echols

CASE NUMBER: Z2020-010; *Specific Use Permit for an Accessory Building at 204 Lakehill Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

BACKGROUND

The subject property was originally annexed into the City of Rockwall on September 5, 1960 by *Ordinance No. 60-02*. The property was later platted as Lot 17, Block B of the Lakeridge Park Subdivision, which was filed with Rockwall County on September 29, 1972. At the time of filing, the subject property -- *along with the remainder of the Lakeridge Park Subdivision* -- was zoned Single-Family 2 (SF-2) District. According to the City's historic zoning maps, this designation was changed to a Single-Family 10 (SF-10) District between 1972 and 1983. The property has not changed zoning since being re-designated to a Single-Family 10 (SF-10) District. According to the Rockwall Central Appraisal District (RCAD) a 2,636 SF single-family home -- *with 1,994 SF of conditioned space* -- was constructed in 1990.

PURPOSE

The property owner and applicant -- *Edwin Echols* -- is requesting the approval of a Specific Use Permit (SUP) to construct an accessory building that exceeds the maximum square footage permitted for accessory buildings as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 204 Lakehill Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is Phase 2 of the Estates of Coastal Royale Subdivision, which consists of 13 single-family lots that are zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

South: Directly south of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is a 100-foot right-of-way for the *M. K. & T. Railroad*, which has railroad tracts within it. South of this is the Sky Ridge Addition, which consist of one (1) non-residential lot that is 8.583-acres in size and is zoned Commercial (C) District.

East: Directly east of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this are two (2) tracts of land [*i.e. Tract 4 & 12 of the D. Atkins Survey, Abstract No. 1*], which have single-family homes constructed on them. These properties are zoned Single-Family 10 (SF-10) District. East of this is Ridge Road [*FM-740*], which is identified as a M4D (*i.e. major collector, four [4]*

lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is the remainder of the Lakeridge Park Subdivision, which is zoned Single-Family 10 (SF-10) District. Beyond this is the takeline followed by the City's corporate limits and Lake Ray Hubbard.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, letter, and drawings requesting to build a 14-foot by 24-foot (*i.e.* 336 SF) accessory building with a six (6) foot by 14-foot (*i.e.* 84 SF) porch. The total building footprint of the accessory building will be 14-feet by 30-feet or 420 SF, and an additional parking space will be incorporated adjacent to the rear of the accessory building measuring six (6) feet by 14-feet. Per the drawings provided by the applicant the accessory building will have a pitched roof with a total height of 16-feet, 4¼-inches. The exterior of the accessory building will be clad in wood siding and the roof will utilize an asphalt shingle that is complimentary to the asphalt shingle used on the primary structure. The building will be situated at the rear of the subject property, 14-feet from the adjacent alleyway along the eastern property line, and six (6) feet from the northern property line. The accessory building will not be visible from any public right-of-way with the exception of the adjacent alleyway.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family (SF-10) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, accessory buildings are limited to a maximum height of 15-feet and a minimum setback of three (3) feet from all property lines. This section of the code goes on to state, "(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP)."

STAFF ANALYSIS

In this case, the applicant's request conforms with the setback requirements for accessory buildings; however, the proposed size of the accessory building exceeds the maximum permissible size by 276 SF. The roof on the accessory building is proposed to be pitched, and per the Unified Development Code (UDC) the measurement for height is taken at the mid-point of the roof for pitched roofs. Based on this, the proposed accessory building is in compliance with height requirements. Staff should note that, while it is debatable whether the accessory building is architecturally compatible with the primary structure, it will be situated behind the primary structure and only visible from the adjacent alleyway. Additionally, the applicant has stated that it will be painted the same color as the trim on the primary structure. Staff should also mention that since this subdivision was originally platted in 1972 and has housing stock that ranges in year built from the 1970's to the 1990's, there are several accessory buildings that utilize the same materials and are generally the same size as the proposed accessory building. With this being said, approval of a Specific Use Permit (SUP) request is discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On April 8, 2020, staff mailed 41 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Lakeside Village and Turtle Cove Homeowner's Associations (HOA), which are the only HOA/Neighborhood Organizations that are within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff received three (3) notices and two (2) online input forms (*from the same address*) in favor of the applicant's request and one (1) notice opposed to the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to for a Specific Use Permit (SUP) for an accessory building that exceeds the maximum permissible size, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the SUP ordinance and which are detailed as follows:
 - (a) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of the Specific Use Permit (SUP) ordinance; and
 - (b) The *Accessory Building* shall not exceed a maximum size of 340 SF; and
 - (c) The *Accessory Building* shall not exceed an overall height of 16-feet, 4¼-inches; and
 - (d) The subject property shall not have more than one (1) accessory building.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall Project Plan Review History



Project Number	Z2020-010	Owner	ECHOLS, EDWIN & BRITTEN			Applied	3/20/2020	AG
Project Name	SUP for 204 Lakehill Drive	Applicant				Approved		
Type	ZONING				Closed			
Subtype	SUP				Expired			
Status	Staff Review				Status			
Site Address		City, State Zip				Zoning		
204 LAKEHILL		ROCKWALL, TX 75087						
Subdivision		Tract	Block	Lot No	Parcel No	General Plan		
LAKERIDGE PARK		17	B	17	4220-000B-0017-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020				
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-010; SUP for Accessory Building						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Edwin Echols for the approval of a Specific Use Permit(SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-010) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on March 3, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18, 2020.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-010

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹ In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 204 Lake hill Dr Rockwall 75087

Subdivision Lakeridge Park Lot 17 Block B

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF2

Current Use Single Family

Proposed Zoning SF2

Proposed Use Single Family w/Accessory Bldg

Acreage 0.28

Lots [Current] 1

Lots [Proposed]

N/C

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Edwin Echols

☐ Applicant

Contact Person self

Contact Person

Address 204 Lakehill Dr.

Address

City, State & Zip Rockwall Tx 75087

City, State & Zip

Phone 469 261 2483

Phone

E-Mail ed.echols@hotmail.com

E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Edwin Echols [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the _____ day of _____, 20 _____. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the _____ day of _____, 20 ____.

Owner's Signature

Edwin Echols

Notary Public in and for the State of Texas

My Commission Expires



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

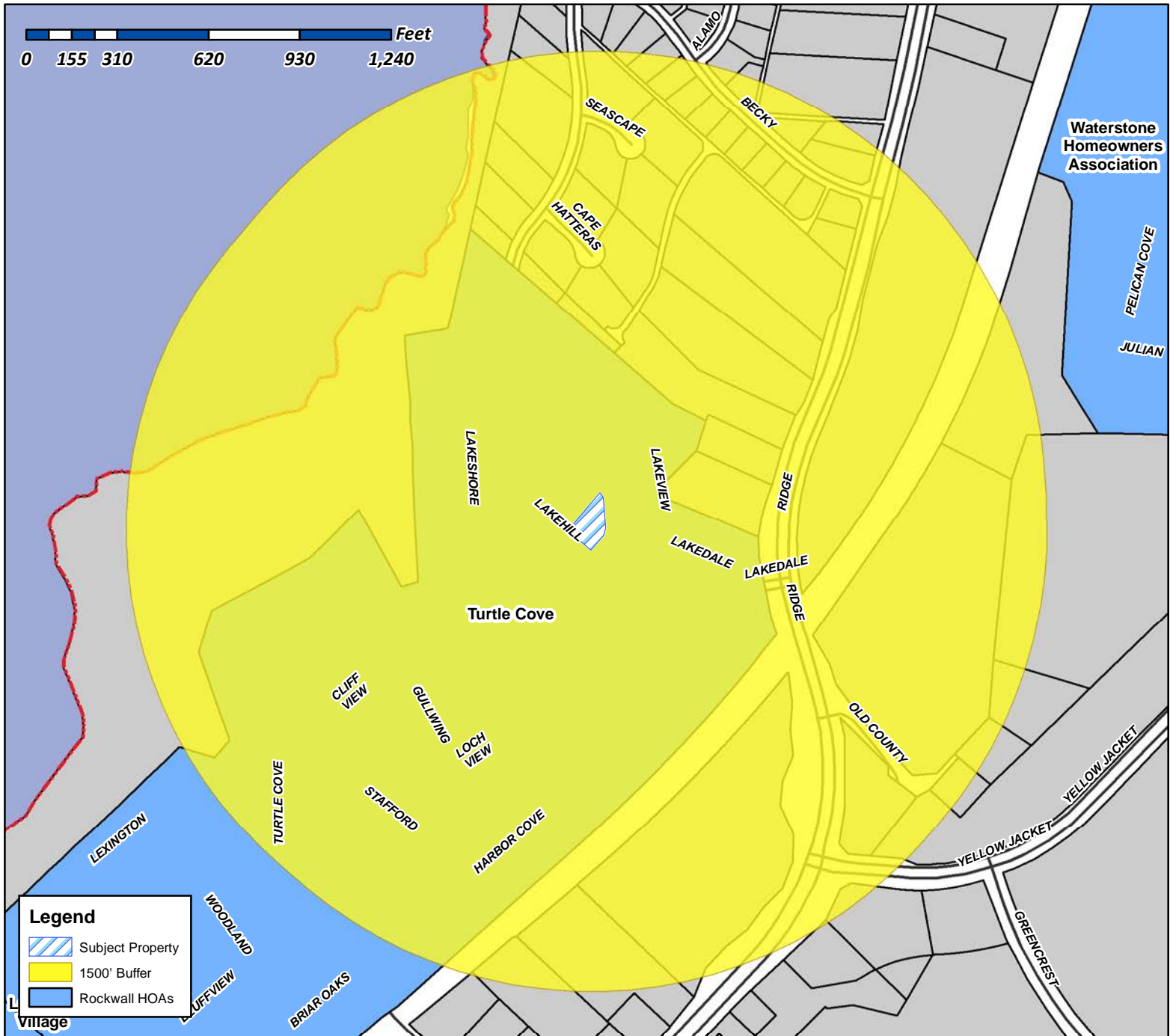




City of Rockwall

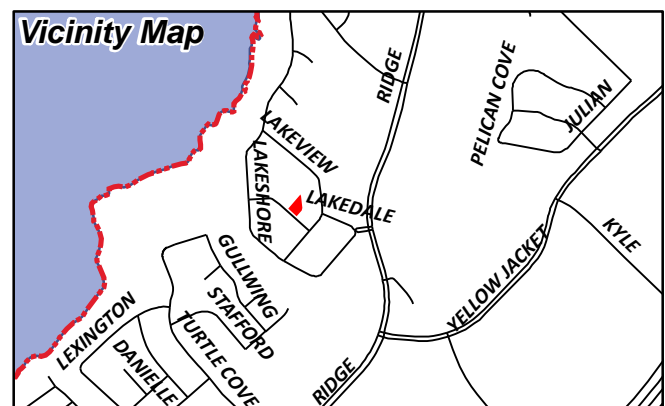
Planning & Zoning Department
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Rockwall, Texas 75087
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Case Number: Z2020-010
Case Name: SUP for 204 Lakehill Dr.
Case Type: Specific Use Permit
Zoning: Single Family 10 (SF-10) District
Case Address: 204 Lakehill Dr.

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Brooks, Korey](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Tuesday, April 7, 2020 11:39:07 AM
Attachments: [HOA Map \(03.24.2020\).pdf](#)
[PUBLIC NOTICE 04.07.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on April 10, 2020. The Planning and Zoning Commission will hold a virtual public meeting on Tuesday, April 28, 2020 at 6:00 PM, and the City Council will hold a virtual public meeting on Monday, May 4, 2020 at 6:00 PM. Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-010- SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

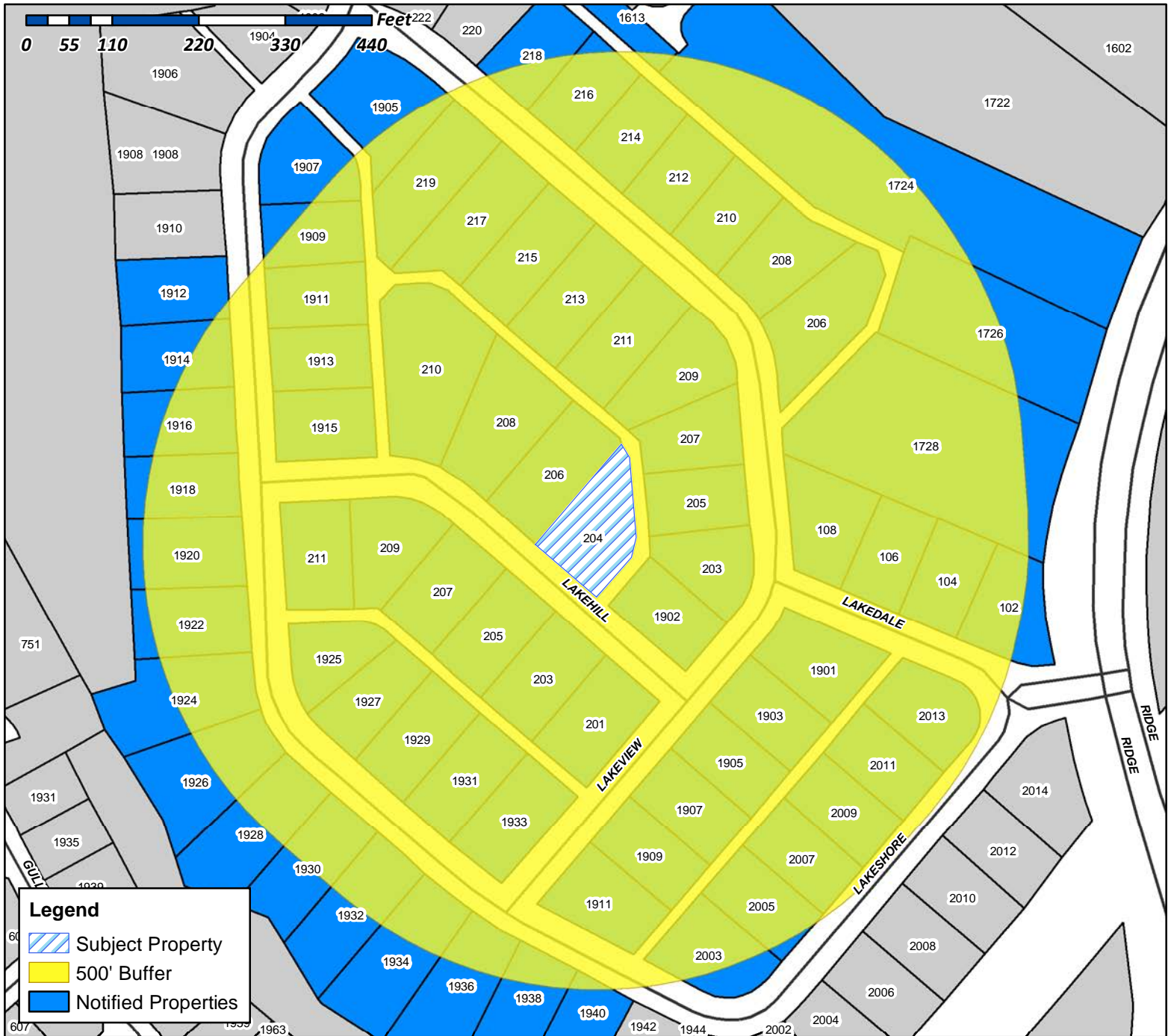
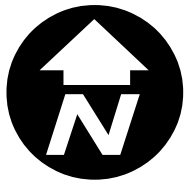
<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

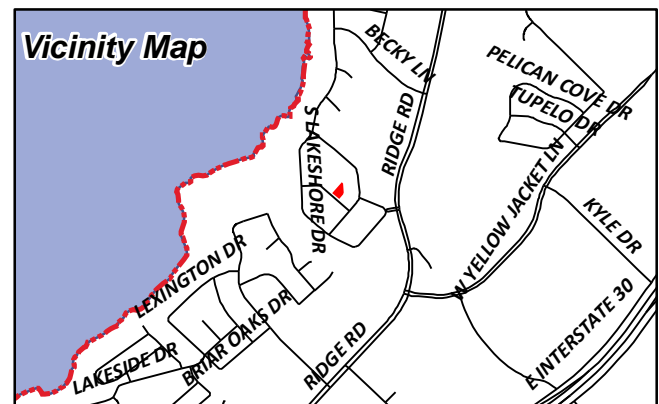
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Case Number: Z2020-010
Case Name: SUP for 204 Lakehill Dr.
Case Type: Specific Use Permit
Zoning: Single Family 10 (SF-10) District
Case Address: 204 Lakehill Dr.

Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745



CURRENT RESIDENT
LAKESHORE DR
ROCKWALL, TX 75087

CURRENT RESIDENT
102 LAKEDALE
ROCKWALL, TX 75087

BCL REAL ESTATE LLC
103 GROSS RD
MESQUITE, TX 75149

MCCULLAR EMILY JEAN
104 LAKEDALE DRIVE
ROCKWALL, TX 75087

MILLER KATIE BROOKE AND PETER JR
106 LAKEDALE DR
ROCKWALL, TX 75087

PECK RUTH H
108 LAKEDALE DR
ROCKWALL, TX 75087

SCHULTZ STEVEN LUKE
1333 OLD SPANISH TRAIL APT 4154
HOUSTON, TX 77054

NOBLE DAVID D & LESLIE A
1613 CAPE HATTERAS PL
ROCKWALL, TX 75087

CASSELMAN STEVEN AND JEANNETTE
1724 RIDGE ROAD
ROCKWALL, TX 75087

PALOS MICKEY SUE &
CODY S & MARIA T LOWERY
1726 RIDGE RD
ROCKWALL, TX 75087

CURRENT RESIDENT
1728 RIDGE
ROCKWALL, TX 75087

HPA TEXAS SUB 2017-1 LLC
180 N STETSON AVE SUITE 3650
CHICAGO, IL 60601

PETTIGREW TERESA VIOLA
1901 LAKEVIEW DR
ROCKWALL, TX 75087

FULKERSON CHARLES D & LANA C
1902 LAKEVIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1903 LAKEVIEW
ROCKWALL, TX 75087

CURRENT RESIDENT
1905 LAKESHORE
ROCKWALL, TX 75087

KERN ROBERT JR & LORNA
1905 LAKEVIEW DR
ROCKWALL, TX 75087

BALLARD KEVIN L ETUX
1907 LAKEVIEW DR
ROCKWALL, TX 75087

COWAN JOHNNY L ET UX
1907 S LAKESHORE DR
ROCKWALL, TX 75087

LALUMIA JOE AND LAURA GAMBILL
1909 LAKEVIEW DR
ROCKWALL, TX 75087

MCADEN CURTIS D AND MELISSA L
1909 S LAKESHORE DR
ROCKWALL, TX 75087

CHURCH ADRIA AND COLT
1911 LAKEVIEW DR
ROCKWALL, TX 75087

CRANE GEORGE R
1911 S LAKESHORE DR
ROCKWALL, TX 75087

HOFFMAN MICHAEL AND ANGELA
1912 S LAKESHORE ROAD
ROCKWALL, TX 75087

FULBRIGHT CHRISTOPHER AND ANGELINE
1913 S LAKESHORE DR
ROCKWALL, TX 75087

PATTON JAMES DOUGLAS
1914 S LAKESHORE DRIVE
ROCKWALL, TX 75087

MILLER DAVID M
1915 S LAKESHORE DR
ROCKWALL, TX 75087

MASSAR STACY L & BERNARD A
1916 S LAKESHORE DRIVE
ROCKWALL, TX 75087

SPENCER GARY S
1918 S LAKESHORE DR
ROCKWALL, TX 75087

HARBIN ERIC S & STACEY R
1920 S LAKESHORE DR
ROCKWALL, TX 75087

TAYLOR LARRY S AND APRIL
1922 SOUTH LAKESHORE DRIVE
ROCKWALL, TX 75087

LUIZ ALBERT H
1924 S LAKESHORE DR
ROCKWALL, TX 75087

MCCLARD HARRY A
1925 S LAKESHORE DRIVE
ROCKWALL, TX 75087

SPRING TRUMAN E JR AND JANE C
1926 S LAKESHORE DR
ROCKWALL, TX 75087

POST JEREMY AND JENNIFER
1927 S LAKESHORE DR
ROCKWALL, TX 75087

BAHN ERIC AND
JANET JONES
1928 S LAKESHORE DR
ROCKWALL, TX 75087

WHITE JOHN N & FRANCES
1929 LAKESHORE DR
ROCKWALL, TX 75087

RAY CYNTHIA
1930 S LAKESHORE DR
ROCKWALL, TX 75087

STRACK KENNETH E & SHARON C TRUSTEES
STRACK FAMILY LIVING TRUST
1931 S LAKESHORE DR
ROCKWALL, TX 75087

GOSH GUY P & REBECCA
1932 S LAKESHORE DR
ROCKWALL, TX 75087

MCCAFFITY LLOYD R JR
1933 S LAKESHORE DR
ROCKWALL, TX 75087

TERRELL DEBRA
1934 S LAKESHORE DR
ROCKWALL, TX 75087

MOORE SAMUEL & MARION
1936 S LAKESHORE DR
ROCKWALL, TX 75087

MOORE RHONDA
1938 SOUTH LAKESHORE DRIVE
ROCKWALL, TX 75087

MORIARTY TIMOTHY I & PAMELA E
1940 S LAKESHORE DR
ROCKWALL, TX 75087

BOSWELL MICHAEL AND ANN
2003 S LAKESHORE DRIVE
ROCKWALL, TX 75087

PADILLA KRIS AND JOE
2005 LAKESHORE DRIVE
ROCKWALL, TX 75087

FRITSCH TERYL W AND JANICE L
2007 S LAKESHORE
ROCKWALL, TX 75087

HIGGINS BYRON STEPHEN AND
KIMBERLY LEE PETRIELLO
2009 S LAKESHORE DRIVE
ROCKWALL, TX 75087

COOK PAUL W ETUX
201 LAKEHILL DR
ROCKWALL, TX 75087

CURRENT RESIDENT
2011 LAKESHORE
ROCKWALL, TX 75087

FREEMAN C L
2013 S LAKESHORE DR
ROCKWALL, TX 75087

INGRAM KENNY DON
203 LAKEHILL DR
ROCKWALL, TX 75087

RIIS RICK LEE
203 LAKEVIEW DRIVE
ROCKWALL, TX 75087

ECHOLS EDWIN & BRITTEN
204 LAKEHILL DR
ROCKWALL, TX 75087

KOLAR MARC AND MONICA A
205 LAKEHILL DRIVE
ROCKWALL, TX 75087

CURRENT RESIDENT
205 LAKEVIEW
ROCKWALL, TX 75087

RICKERSON CHARLES & VIRGINIA RICKERSON
206 LAKEHILL DRIVE
ROCKWALL, TX 75087

SIMS CHRISTOPHER P AND KRISTEN
206 LAKEVIEW DR
ROCKWALL, TX 75087

STEGMAN SARAH A
207 LAKEHILL DR
ROCKWALL, TX 75087

BROYLES LYNN
207 LAKEVIEW DR
ROCKWALL, TX 75087

JOHNSON DAVID L & MELODY D
208 LAKEHILL DR
ROCKWALL, TX 75087

ESTES AMY RACHELLE & JOSHUA ELDEN
208 LAKEVIEW DR
ROCKWALL, TX 75087

STEVENS JOSHUA D
209 LAKEHILL DR
ROCKWALL, TX 75087

KELLY HUGH LAWRENCE
209 LAKEVIEW DR
ROCKWALL, TX 75087

LARUE PATRICIA D & TIMOTHY L
210 LAKEHILL DRIVE
ROCKWALL, TX 75087

SHELLITO SUSAN G
210 LAKEVIEW DR
ROCKWALL, TX 75087

MOORE MIKE T & DIANA
211 LAKEHILL DR
ROCKWALL, TX 75087

TURNER KENNETH K
211 LAKEVIEW DR
ROCKWALL, TX 75087

LYON ROBERT L SR & PATRICIA R
212 LAKEVIEW DR
ROCKWALL, TX 75087

TAYLOR RONALD R & ELIZABETH R
213 LAKEVIEW DR
ROCKWALL, TX 75087

FENTON DONYELLE
214 LAKEVIEW DRIVE
ROCKWALL, TX 75087

STOOKSBERRY CECIL R AND KIM
215 LAKEVIEW DR
ROCKWALL, TX 75087

ODEN ELRA C
216 LAKEVIEW DR
ROCKWALL, TX 75087

MCCRACKEN SUSAN M
217 LAKEVIEW DR
ROCKWALL, TX 75087

CURRENT RESIDENT
218 LAKEVIEW
ROCKWALL, TX 75087

BURKS JANETTA BETH
219 LAKEVIEW DR
ROCKWALL, TX 75087

JUNKER SHAWN W & LEANNE
519 E. INTERSTATE 30 # 631
ROCKWALL, TX 75087

KJT FLYING PROPERTIES LLC
PO BOX 1476
ROCKWALL, TX 75087

ALLEN DENNIS L & GLENNA L
PO BOX 801161
BALCH SPRINGS, TX 75180

RUTH DOWER LIVING TRUST DATED JUNE 3
2014
RUTH DOWER TRUSTEE
PO BOX 871239
MESQUITE, TX 75187



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Hold a public hearing to discuss and consider a request by Edwin Echols for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage on an 0.28-acre parcel of land identified as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

☐ I am in favor of the request for the reasons listed below.

☒ I am opposed to the request for the reasons listed below.

AESTHETICS OF THE NEIGHBORHOOD.

PROPERTY VALUE OF NEIGHBORHOOD.

Name: BALLARD

Address: 1907 LAKEVIEW

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

*I am directly behind this area and know what he is asking to
build and I can't wait to see it completed
Case # 22020-010*

Name:

Hugh L. Kelly Jr.

Address:

209 Lakeview Dr. Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

Name:

JOHN N. WHITE

Address:

1929 S. LAKESHORE DRIVE, ROCKWALL 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Notice of Public Hearing • City of Rockwall • 385 South Goliad Street • Rockwall, TX 75087 • [P] (972) 771-7745 • [F] (972) 771-7748



NOTICE OF PUBLIC HEARING

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Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



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PLEASE RETURN THE BELOW FORM

Case No. Z2020-010: SUP for an Accessory Building at 204 Lakehill Drive

Please place a check mark on the appropriate line below:

☒ I am in favor of the request for the reasons listed below.

☐ I am opposed to the request for the reasons listed below.

The structure that Mr. Echols intends to have built is to be located where it can't be seen from any street. It will also be a custom build to resemble the character of his residence. A good improvement!

Name: MIKE MOORE

Address: 211 Lakehill Dr. Rockwall, TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live across the alley at 207 Lakeview Dr. I am in favor of the project

Respondent Information

Please provide your information.

First Name *

Donna

Last Name *

Broyles

Address *

207 Lakeview Dr

City *

rockwall

State *

Texas

Zip Code *

75087

Email Address *

broyles.lynn@yahoo.com

Phone Number

972-768-5104

Please check all that apply: *

- ☒ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☒ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☐ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☒ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

Zoning & Specific Use Permit Input Form

Case Number *

Please provide the Case Reference Number of the Zoning or Specific Use Permit (SUP) request that you are providing input on (Example: Z2019-001).

Z2020-010

Please place a check mark on the appropriate line below: *



I am in favor of the request.



I am in opposition to the request.

Please provide any additional information concerning your support or opposition to the request.

I live at 207 Lakeview Dr.across the alley from the applicant and support his request

Respondent Information

Please provide your information.

First Name *

Elbert Lynn

Last Name *

Broyles

Address *

207 Lakeview Dr

City *

Rockwall

State *

Texas

Zip Code *

75098

Email Address *

broyles.lynn@yahoo.com

Phone Number

214-478-4341

Please check all that apply: *

- ☒ I live nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I work nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☒ I own property nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ I own a business nearby the proposed Zoning or Specific Use Permit (SUP) request.
- ☐ Other: _____

How did you hear about this Zoning or Specific Use Permit (SUP) request? *

- ☐ I received a property owner notification in the mail.
- ☐ I read about the request on the City's website.
- ☐ I saw a zoning sign on the property.
- ☐ I read about the request in the Rockwall Herald Banner.
- ☒ My neighbors told me about the request.
- ☐ Other: _____

This content is neither created nor endorsed by Google.

Google Forms

3/19/20

To City of Rockwall

From Edwin Echols

204 Lakehill Dr 75087

SUBJECT Variance Request

I am in need of a workshop to enable wood working projects and moving power tools out of our garage. The design in mind is 14 x 28 to be on the west side of our driveway. Placement here may need a variance on the 6ft. property offset and the structure height limit of 15 ft.

I plan to keep the offset from the Alleyway approximately 14 ft even though Accessory structure allowance is 3 ft.

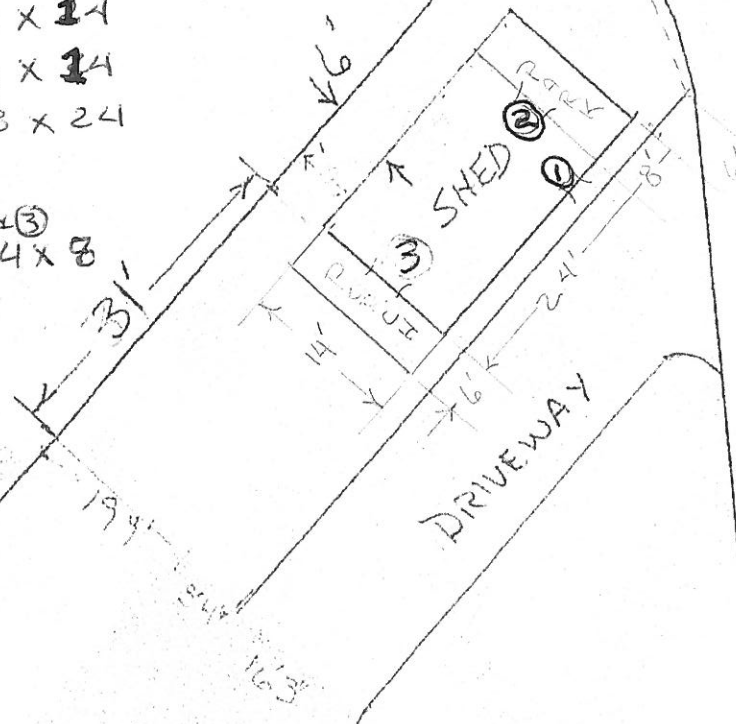
Thanks for your consideration

EM Echols



SHED 14 x 24
Porch 8 x 14
Porch 6 x 14
SLAB 28 x 24
Main door ①
Roll UP DOORS ②+③ 4 x 8

18950



18949

204
LAKEHILL

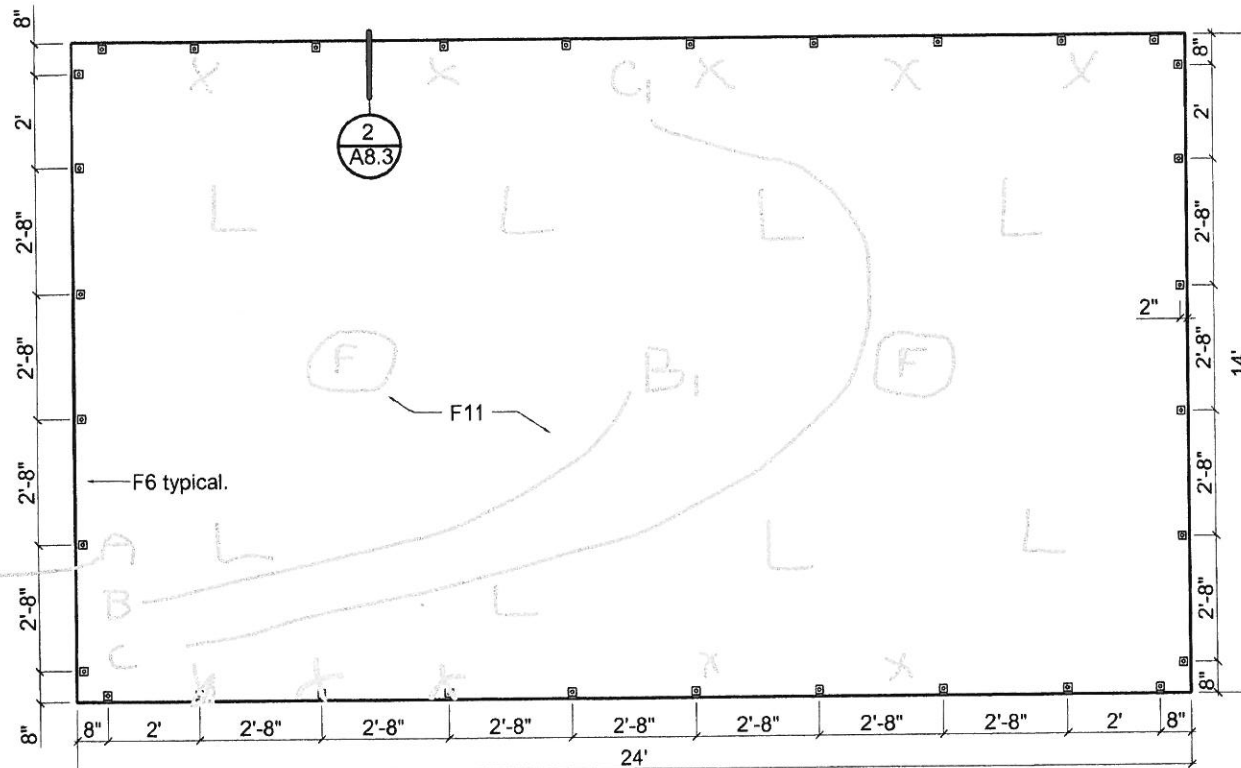
3- 2" Conduit

1 - to end of slab to "A" House to Submain

1 - to mid slab B-B, (120V SAW)

1 - to mid West Wall (240V HVAC)

Drill to set anchors w/ framing



CONCRETE SLAB FLOOR PLAN

Bolt layout pattern will vary depending on door location. Verify door location and install a bolt within 6" of the door opening and not in the door opening.

NOTES:

- 1/2" x 10" ANCHOR BOLTS ARE TO BE PLACED AT 32" O.C. AND WITHIN 12" FROM ENDS MINIMUM.
- USING A CONCRETE SLAB INSTEAD OF A FRAMED FLOOR WILL LOWER THE FLOOR HEIGHT BECAUSE YOU ARE NOT INSTALLING 6" FLOOR JOISTS.
- CHECK LOCAL BUILDING REQUIREMENTS FOR FROST PENETRATION DEPTHS AND REQUIRED DEPTH OF FOOTINGS.

FOUNDATION MATERIALS

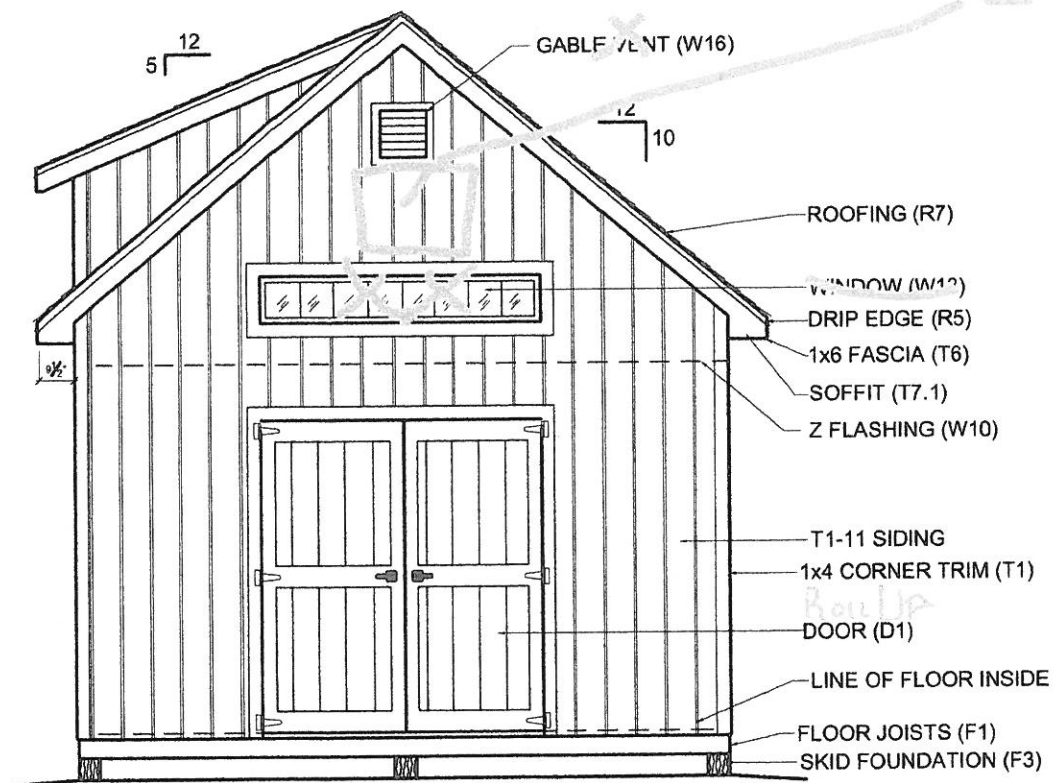
CODE	DESCRIPTION	LENGTH	QTY.
F5	1/2" Gravel		
F6	Anchor Bolt Washer	1/2" x 10"	30
F11	Concrete		

5 120 outlets ea. West & East Walls "X"
 8 4' LED Shop lights - "L"
 2 " " - Loft

2 Fans (F)

Concrete Foundation 4.1

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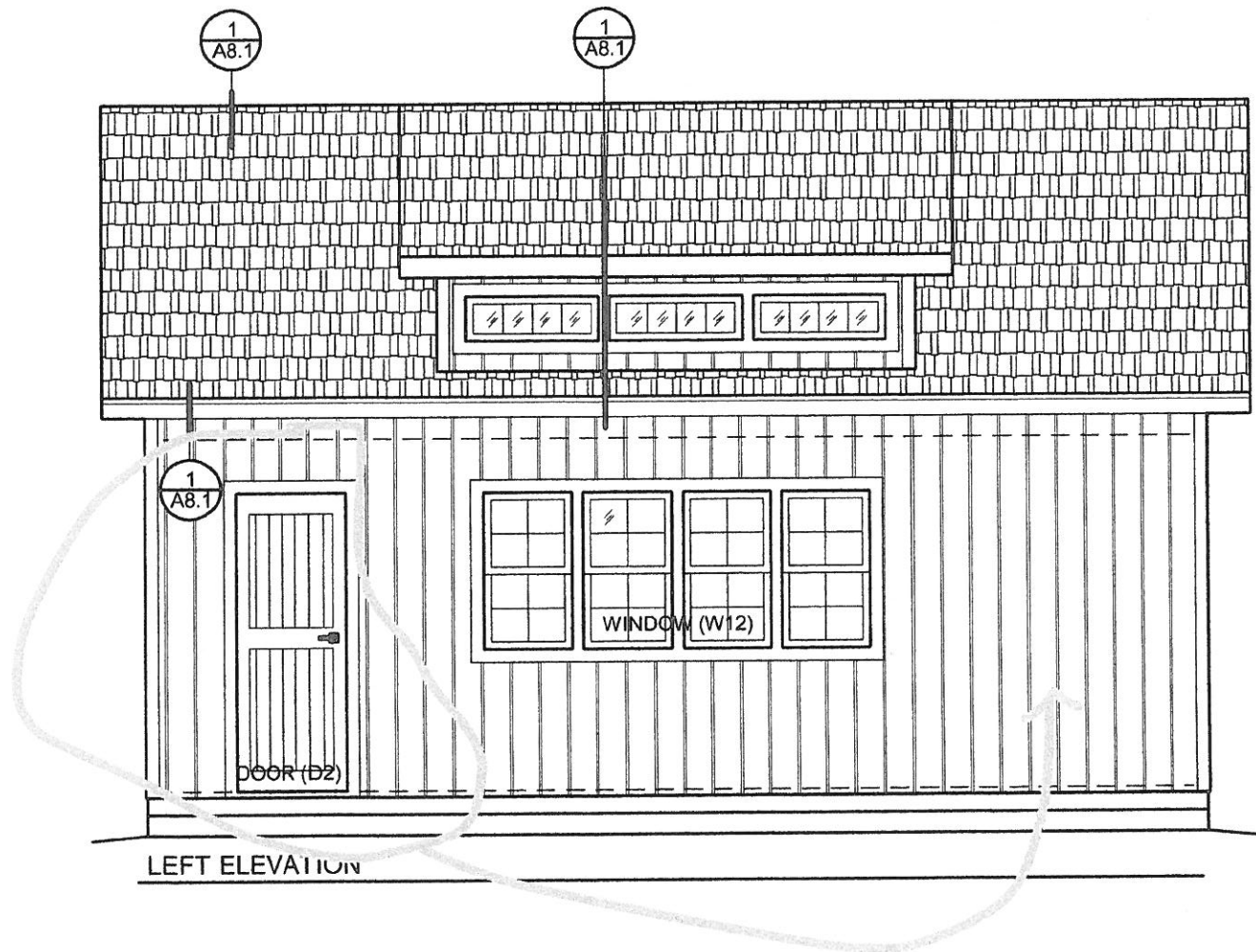


FRONT ELEVATION

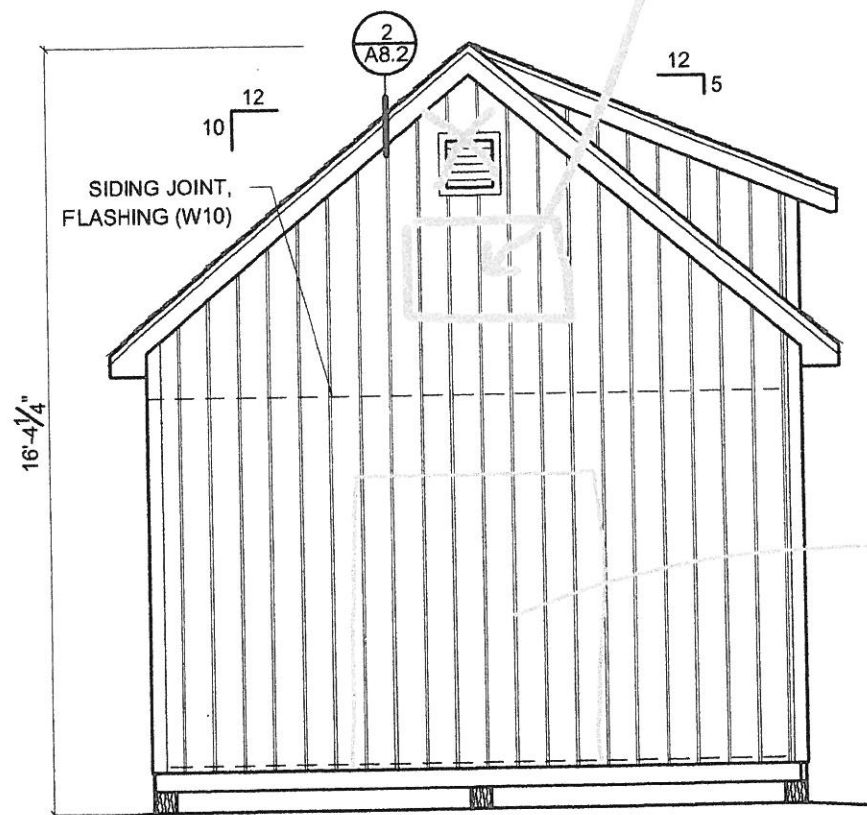
SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1½"x1½"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	3010 Fixed Window	6'-0" x 1'-0"	1
W14	3016 Fixed window	3'-0" x 1'-6"	3
W15	Pre-made gable vent	12" x 12"	2
D1	2668 Door	2'-6" x 6'-8"	1
D2	6068 Double door	6'-0" x 5'-0"	1

Ramp or stair materials are not shown



LEFT ELEVATION

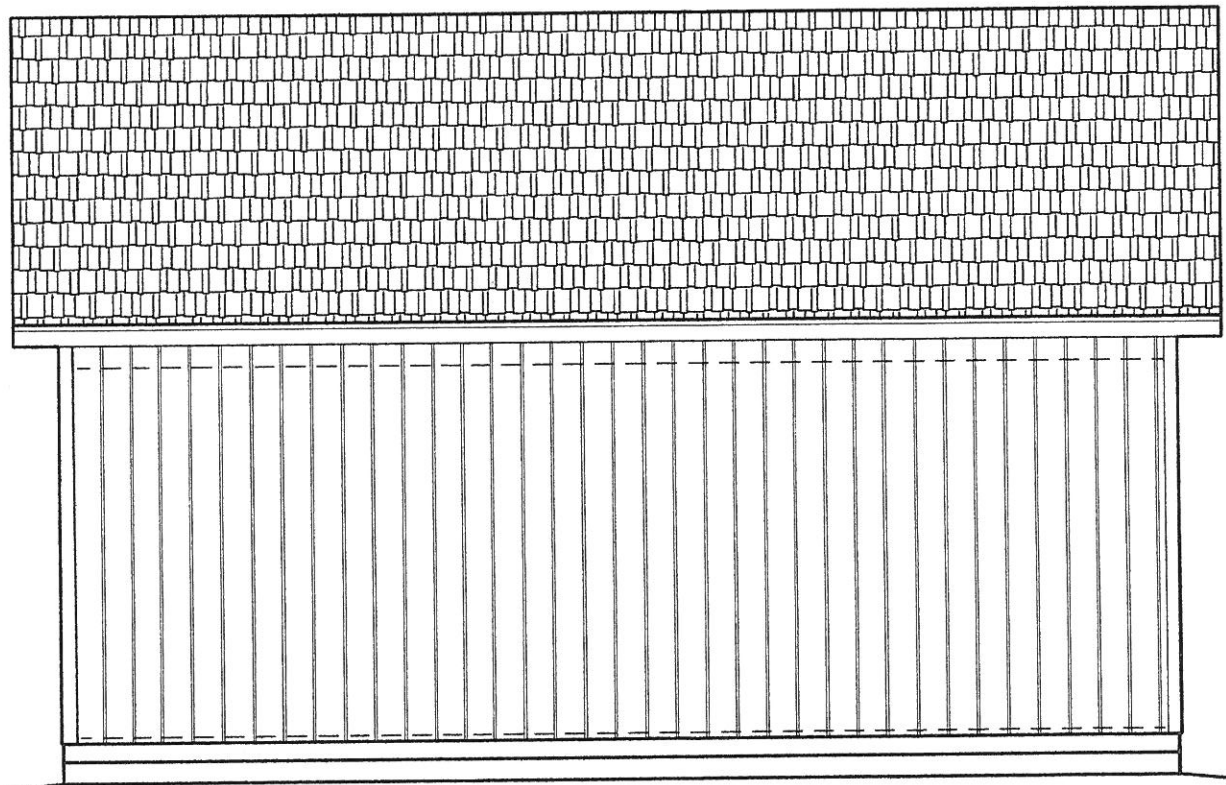


REAR ELEVATION

SOUTH

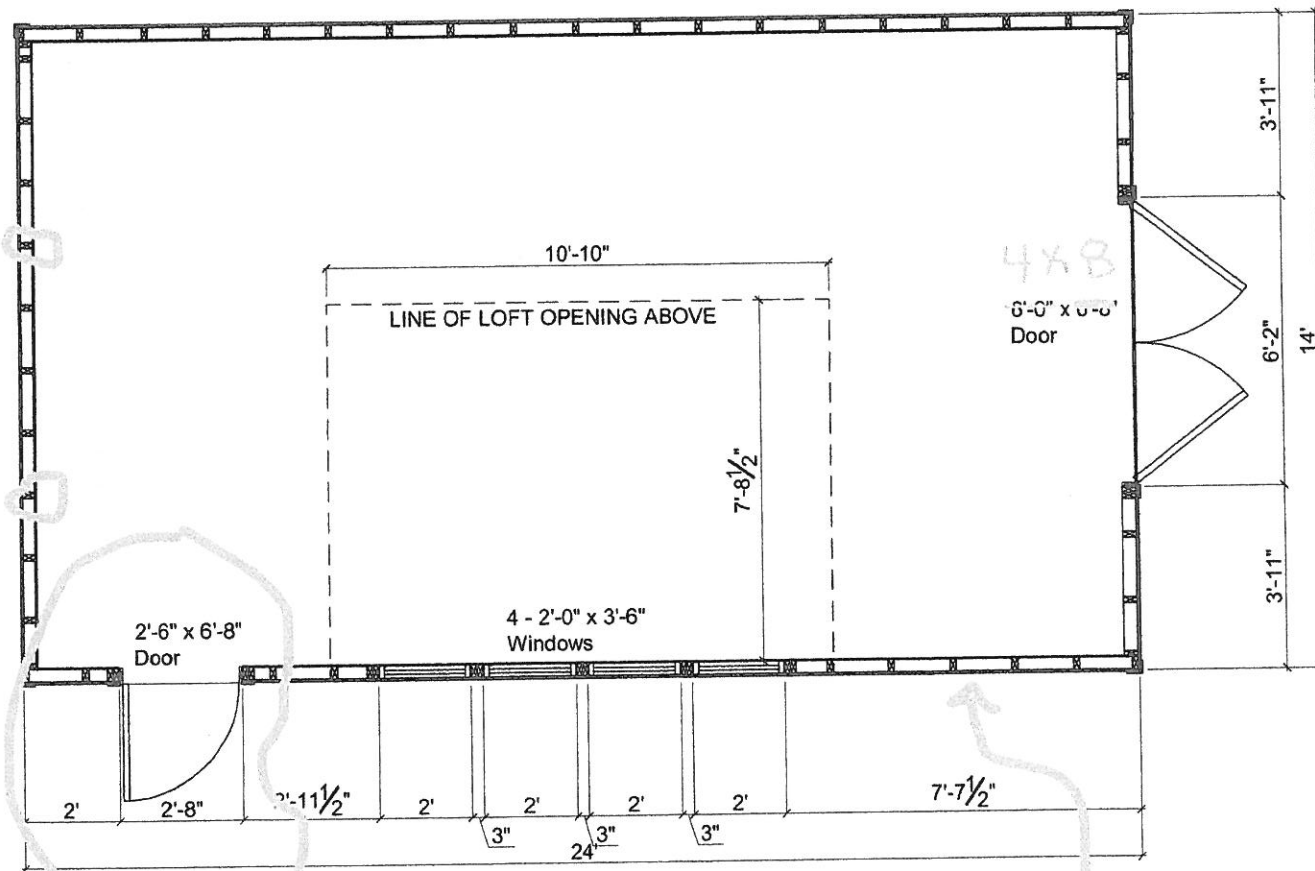
Exterior Elevations 3.2

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RIGHT ELEVATION

4x8
Roll Up



Rollup

FLOOR PLAN

1/4" = 1'-0" See wall framing plans for stud layout and material take off.

Reverse
Wall
Door on Right

Floor Plan 2

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CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.28-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 17, BLOCK B, LAKERIDGE PARK ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Edwin Echols for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.28-acre parcel of land being described as Lot 17, Block B, Lakeridge Park Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 204 Lakehill Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 340 SF.
- (3) The *Accessory Building* shall not exceed an overall height of 16-feet, 4¼-inches.
- (4) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 204 Lakehill Drive

Legal Description: Lot 17, Block B, Lakeridge Park Addition



Exhibit 'B':
Concept Plan

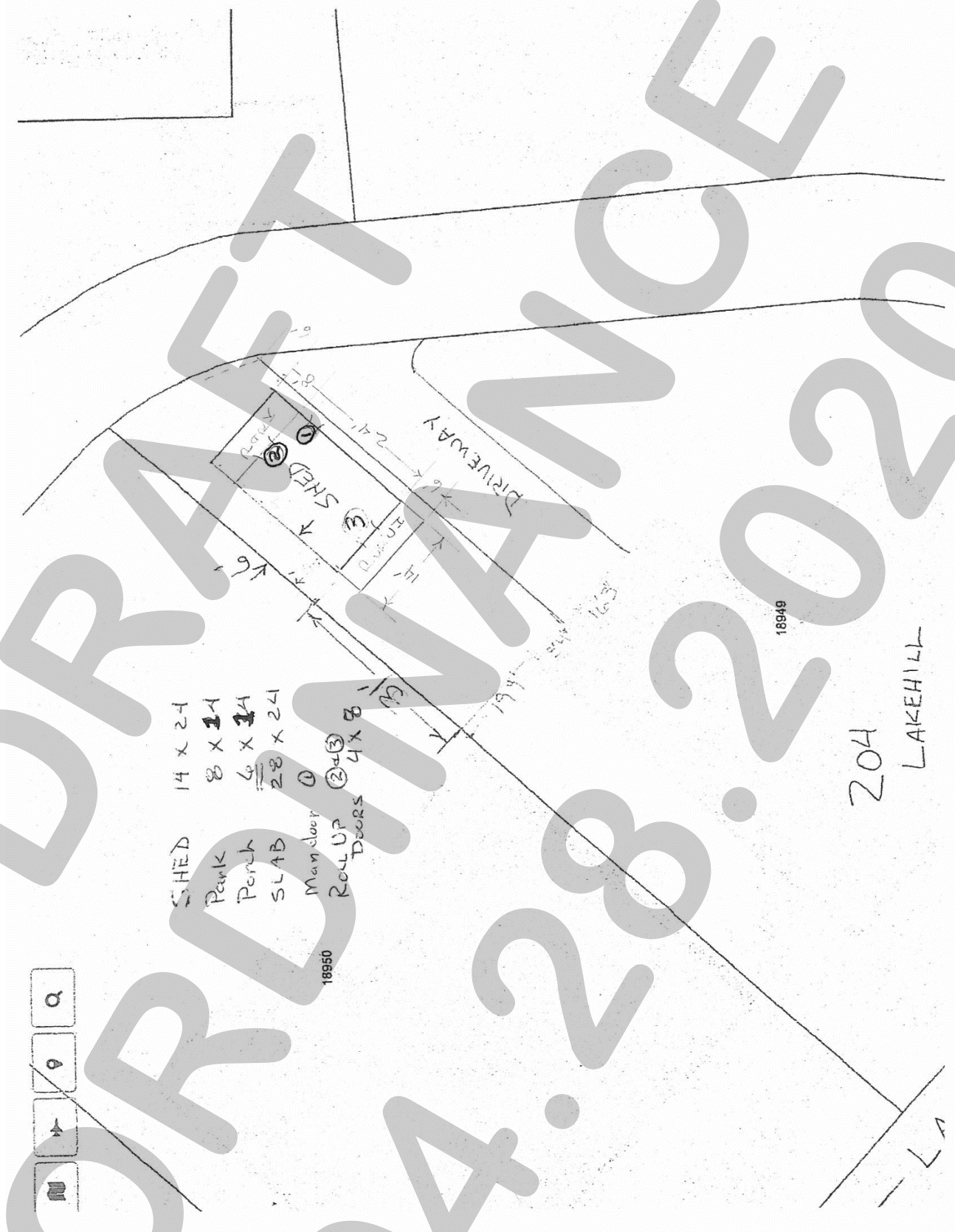
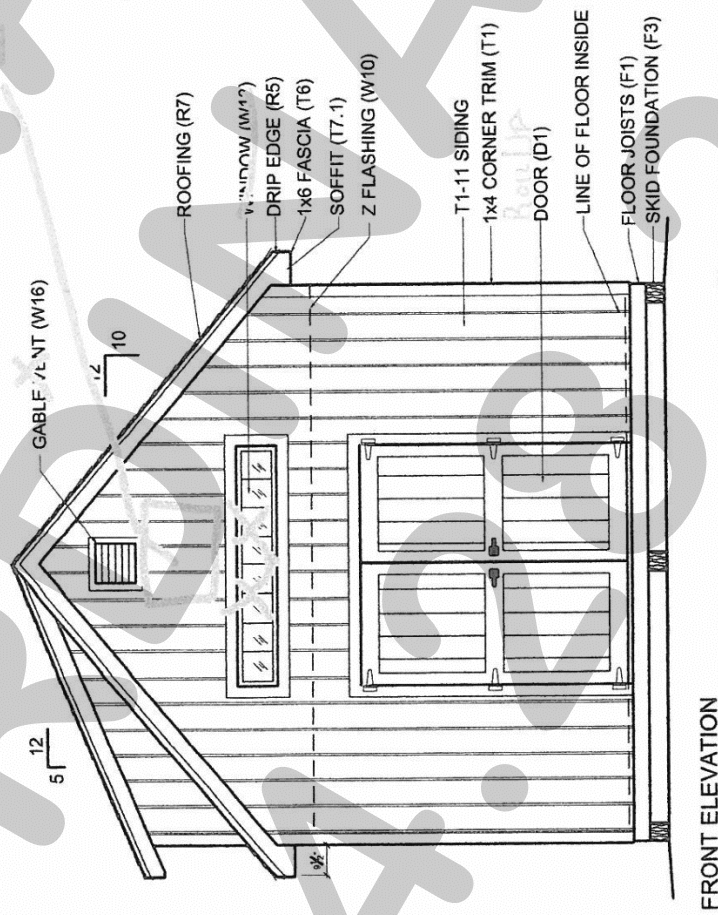


Exhibit 'C':
Conceptual Building Elevations



SIDING AND ROOFING MATERIALS			
CODE	DESCRIPTION	LENGTH	QTY.
W7	4ft. x 8ft. T1-11	per plan	27
W7.1	4ft. x 8ft. Textured ply. Soffit		3
T4	1x4 Wood Trim	16'-0"	16
T6	1x6 Trim Fascia	16'-0"	9
R5	Roof Drip Edge	1 1/2"x1 1/2"x10'	15
R6	15lb. Roofing Felt	540+ sf.	
R7	Shingles	540+ sf.	6 sq.
W10	"Z" Metal Flashing	10'-0"	8
W12	2036 SH Window	2'-0" x 3'-6"	4
W13	2010 Fixed Window	3'-0" x 1'-6"	3
W14	3016 Fixed Window	12" x 12"	1
D1	2668 Door	2'-6" x 6'-8"	1
D2	6'-0" x 6'-0" door		1

Ramp or stair materials are not shown

Exhibit 'C':
Conceptual Building Elevations



Exterior Elevations 3.1
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CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 28, 2020

APPLICANT: Ryszard M. Waszczuk; *Richard Expo*

CASE NUMBER: Z2020-012; *Specific Use Permit (SUP) for a Residential Infill for 706 Sherman Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

BACKGROUND

The subject property is considered to be a part of the Old Town, and was platted with the B. F. Boydston Addition prior to 1959 and after 1934 (*per the 1934 Sanborn maps and the City's annexation ordinances*). According to the City's historic zoning maps the subject property has been zoned Single Family 7 (SF-7) District since at least December 7, 1993, and has been situated within the Southside Residential Neighborhood Overlay (SRO) District since its inception on June 3, 1996 by *Ordinance No. 96-12*. According to the City's permitting records a demolition permit was issued May 10, 2018 [*Permit No. BLD2018-1559*] for purpose of removing an existing single-family home that was destroyed by fire damage. The property is currently vacant.

PURPOSE

The applicant, is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 706 Sherman Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 704 Sherman Street and 608 & 610 E. Boydston Street (*i.e. Lots 1 - 3, Block 111, B. F. Boydston Addition*). Situated on these three (3) lots are three single-family homes that are all zoned Single-Family 7 (SF-7) District. Beyond this is E. Boydston Street, which is designated as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property are three (3) single-family homes and three (3) vacant lots that front on to Sherman Street (*i.e. 708 – 716 Sherman Street*), and that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.1209-acre vacant parcel of land that is bounded by S. Clark Street and Lamar Street. This property is also zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is Sherman Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. This street is followed by several single-family homes fronting on Sherman Street that are zoned Single-Family 7 (SF-7) District. Beyond this is a 1.127-acre tract of land (*i.e. Lot A & C, Block 110, B. F. Boydston Addition*) that has a 7,456 SF industrial building situated on it. This property is zoned Planned Development District 52 (PD-52) for Heavy Commercial (HC) District land uses.

West: Directly west of the subject property is Lamar Street, which is identified as a *R2 (residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan. This street is followed by two (2) vacant lots, which are zoned Single Family 7 (SF-7) District. These properties were recently approved Specific Use Permits (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* [Case No. Z2020-004 & Z2020-005] and will be developed with new single-family homes that are similar to what the applicant is proposing.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." The subject property is part of the B. F. Boydston Addition, which has been in existence since before 1959 and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Single-Family 7 (SF-7) District, requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [i.e. *Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Sherman Street compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Sherman Street Between Boydston Street and E. Ross Street	Proposed Housing
Building Height	One (1) Story	One (1) Story
Building Orientation	All of the homes located in the mid-block face towards Sherman Street and have either no garage or a front-facing garages.	The front elevation of the home will face on to Sherman Street and have a front facing garage.
Year Built	1980-2007	N/A
Building SF on Property	980-1,896 SF	2,424 SF
Building Architecture	Various	Comparable Architecture to Existing Homes
Building Setbacks:		
Front	20-Feet	20-Feet
Side	The side yard setbacks appear to be between five (5) and six (6) feet.	6-Feet
Rear	The rear yard setbacks appear to be greater than ten (10) feet.	31-Feet, 6½-Inches
Building Materials	Wood Siding, Cementitious Lap Siding, and Brick	100% Hardi-Board Siding
Paint and Color	Yellow, Tan, Brown, White, and Grey	White
Roofs	Composite Shingles	Composite Shingle
Driveways	All but two (2) of the homes do not have garages, only front driveways. One (1) home has a single car garage that is forward facing and one (1) home has a detached garage setback behind the front façade of the primary structure.	Front entry garage with front façade of the home being recessed 20-feet behind the garage door.

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the applicant is proposing to put the garage 20-feet in front of the front façade of the single-family home, and if approved the Planning and Zoning Commission and City Council will be waiving this requirement. Staff should note that this waiver has been approved in the Southside Residential Neighborhood Overlay (SRO) District in the past, and that the two (2) properties directly west of the subject property were recently approved for Specific Use Permits (SUPs) for *Residential Infill in*

or *Adjacent to an Established Subdivision* utilizing the same garage configuration. With the exception of the garage orientation, the proposed single-family home meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Sherman Street and the proposed building elevations in the attached packet. The approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 8, 2020, staff mailed 87 notices to property owners and occupants within 500-feet of the subject property. There were no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program to notify. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any notices returned concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall

Project Plan Review History



Project Number	Z2020-012	Owner	VARTAN JIZMEJIAN			Applied	3/20/2020	AG
Project Name	SUP for 706 Sherman Street	Applicant	RICHARD EXPO RYSZARD			Approved		
Type	ZONING					Closed		
Subtype	SUP					Expired		
Status	Staff Review					Status		
Site Address		City, State Zip						
706 SHERMAN		ROCKWALL, TX 75087				Zoning		
Subdivision		Tract	Block	Lot No	Parcel No	General Plan		
B F BOYDSTON		4	111	4	3140-0111-0004-00-OR			

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING (3/26/2020 2:17 PM SJ) I - The culvert under the driveway will need to be engineered with the building permit. Your engineer must analyze the drainage area, drainage calculations, and the culvert sizing calculations. I - This property may also need a sewer tap that can be done with the building permit.	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	See Notes
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Korey Brooks	3/20/2020	3/27/2020	4/8/2020	19	COMMENTS	Comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-012; SUP for Detached Garage						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request by Ryszard M Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit(SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street.						
I.2 For questions or comments concerning this case please contact Korey Brooks in the Planning Department at(972) 772-6434 or email kbrooks@rockwall.com.						
M.3 For reference, include the case number (Z2020-012) in the lower right-hand corner of all pages on future submittals.						
I.4 This project is subject to all requirements stipulated by the Unified Development Code(UDC).						
M.5 In order to constitute a complete submittal all applications are required to provide the following elements [1] concept plan, [2] survey and legal description, [3] elevations for the proposed accessory building. This application is considered to be complete.						
M.6 Specific Use Permit (SUP).						
1) Please review the draft ordinance and provide comments to staff prior to the Planning and Zoning Meeting on April 28, 2020.						
I.7 Please note that failure to address all comments provided by staff by 5:00 PM on April 21, 2020 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal and a new application and fee will be required to resubmit the case.						
I.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; The Planning and Zoning Worksession is April 14, 2020 and the Planning & Zoning Meeting is April 28, 2020. The City Council Meetings are May 4, 2020 and May 18th, 2020.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 706 Sherman St. Rockwall, TX. 75087

Subdivision

Lot 4 Block III

General Location

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

- ☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner VARTAN JIZMEJIAN

☐ Applicant RICHARD EXPO

Contact Person

Contact Person

Address 33171 ELISA DR

Address 1536 Timber Ridge Dr.

City, State & Zip DANA POINT, CA. 92629

City, State & Zip Rockwall, TX. 75032

Phone 949-412-4452

Phone 972-400-8047

E-Mail

E-Mail RICHARDEXPO@HOTMAIL.COM

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Vartan Jizmejian [owner] the undersigned, who stated the information on this application to be true and certified the following:

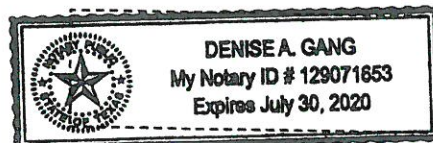
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020.

Owner's Signature

[Signature]

Notary Public in and for the State of Texas



My Commission Expires

DECLARATION OF REPRESENTATIVE

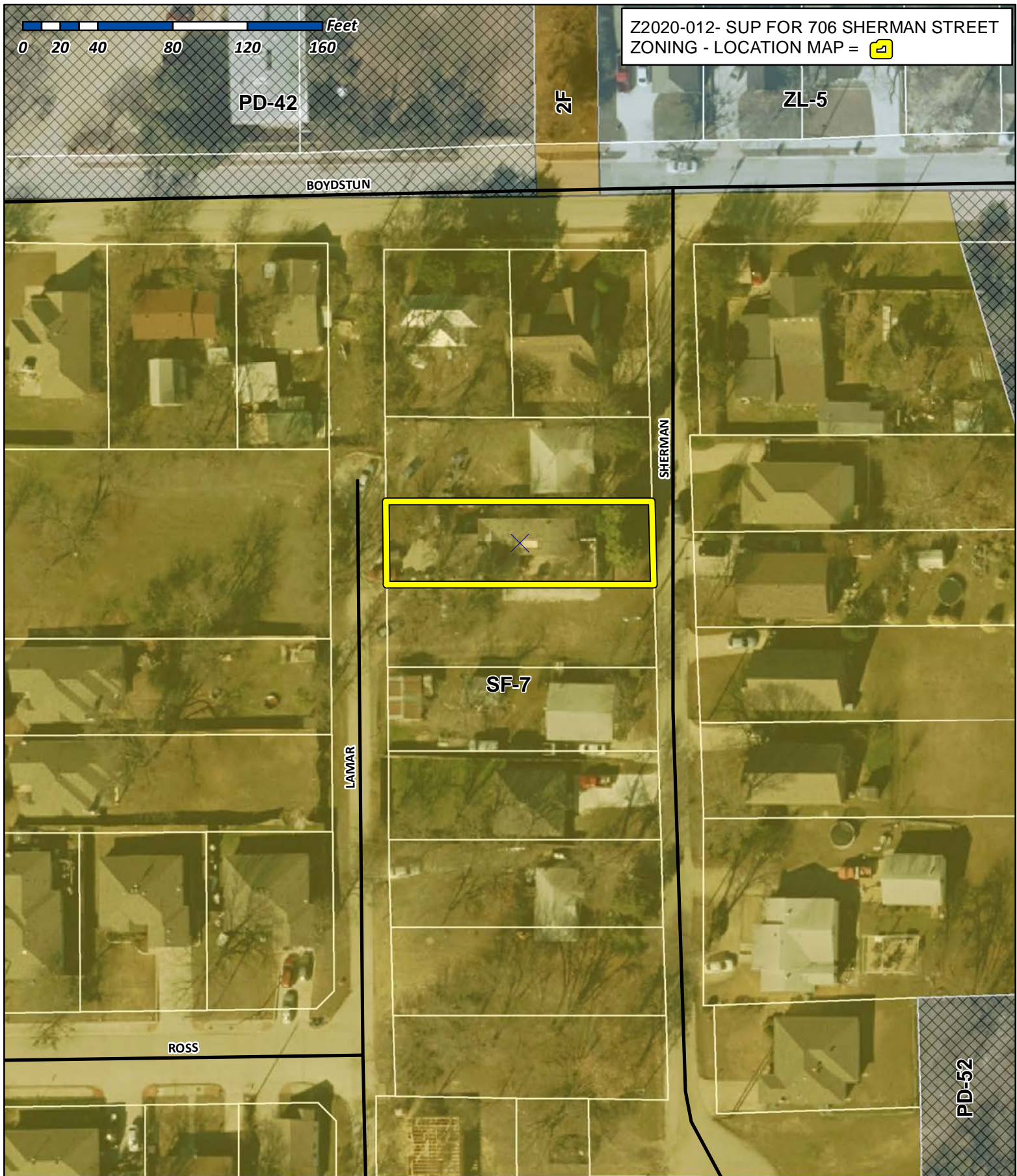
<u>Property Owner(s) Name(s) as it appears on the Change of Value Notice</u> Vartan Jizmejian
<u>Property Owner's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 33171 Elisa Dr. Dana Point CA 92629
<u>Property Owner's Telephone Number</u> (949) 412-4452

hereby appoints the following individual, corporation, limited liability company, organization, firm or partnership

<u>Individual Representatives Name and Title</u> Construction Builder Ryszard M. Waszczuk
<u>If applicable, provide Corporation, Limited Liability Company, Organization, Firm or Partnership Name</u> Richard Expo
<u>Representative's Mailing Address (Street, PO Box, City, State, Zip Code)</u> 1536 Timber Ridge Dr. Rockwall. Tx 75087
<u>Representative's Telephone Number</u> (972) 400-8047

To represent the above named property owner before the State Board of Tax Appeals pursuant to the Board's rules and regulations for property located in 3005 preston ct. Rockwall County for the TX. 2015----- tax year(s).

Signature of Property Owner <u>Vjizmejian</u>	March 30/2015 Date
<u>If signing on behalf of a corporation, limited liability company, organization, firm or partnership, provide below the printed name and title of person signing.</u>	
<u>Ryszard M. Waszczuk</u> Printed Name	Builder Title



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

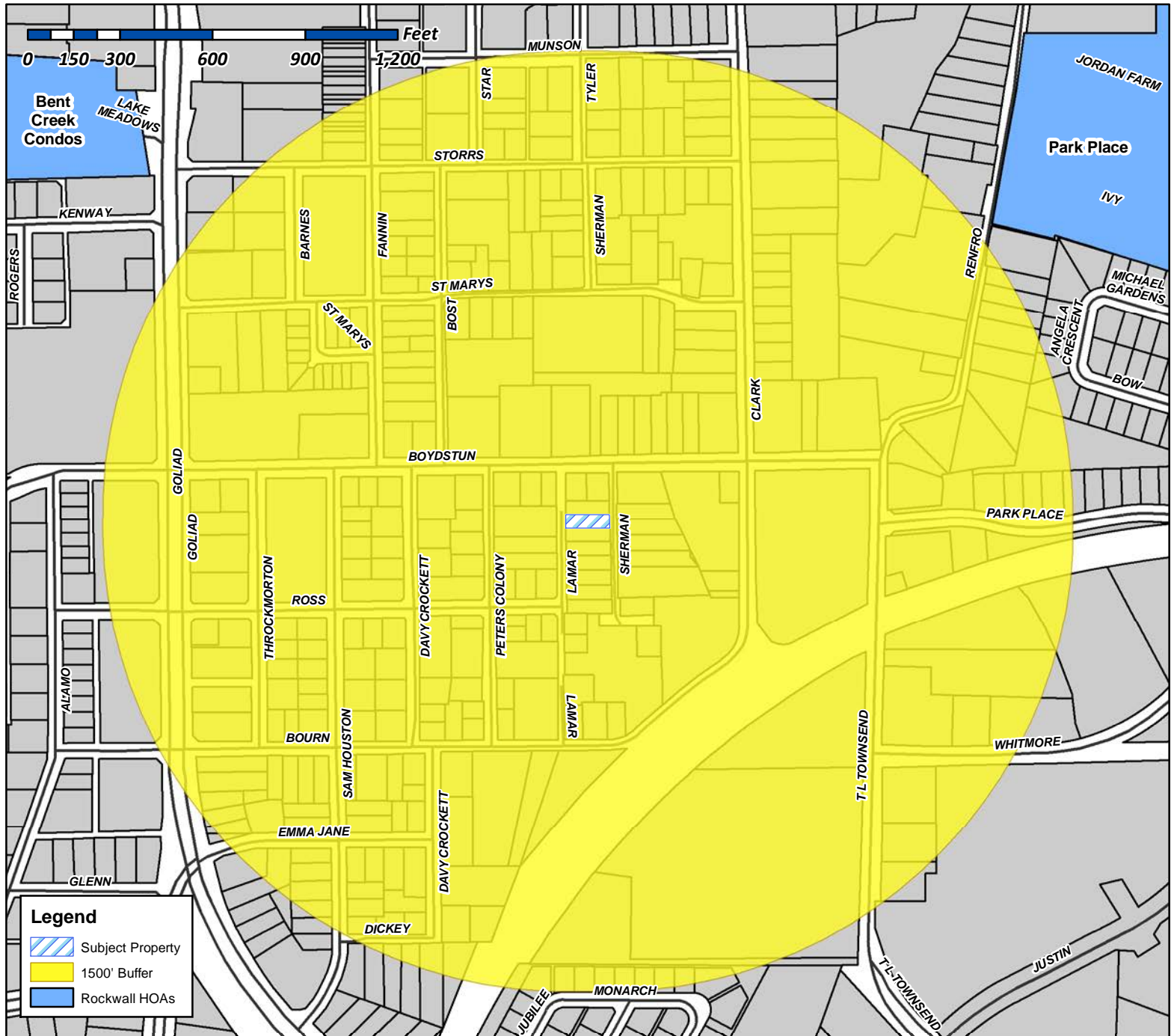




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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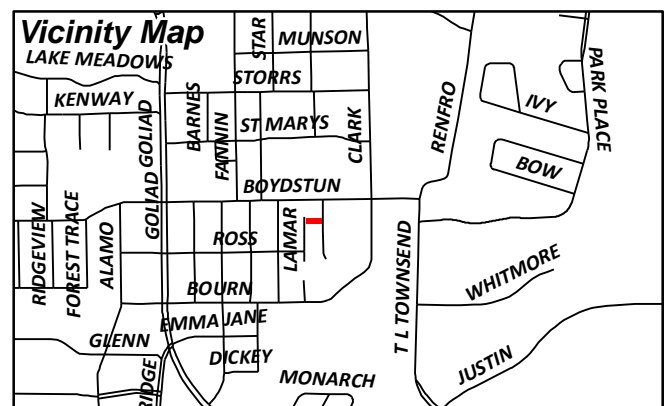
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman St.
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.

Date Created: 3/24/2020

For Questions on this Case Call (972) 771-7745

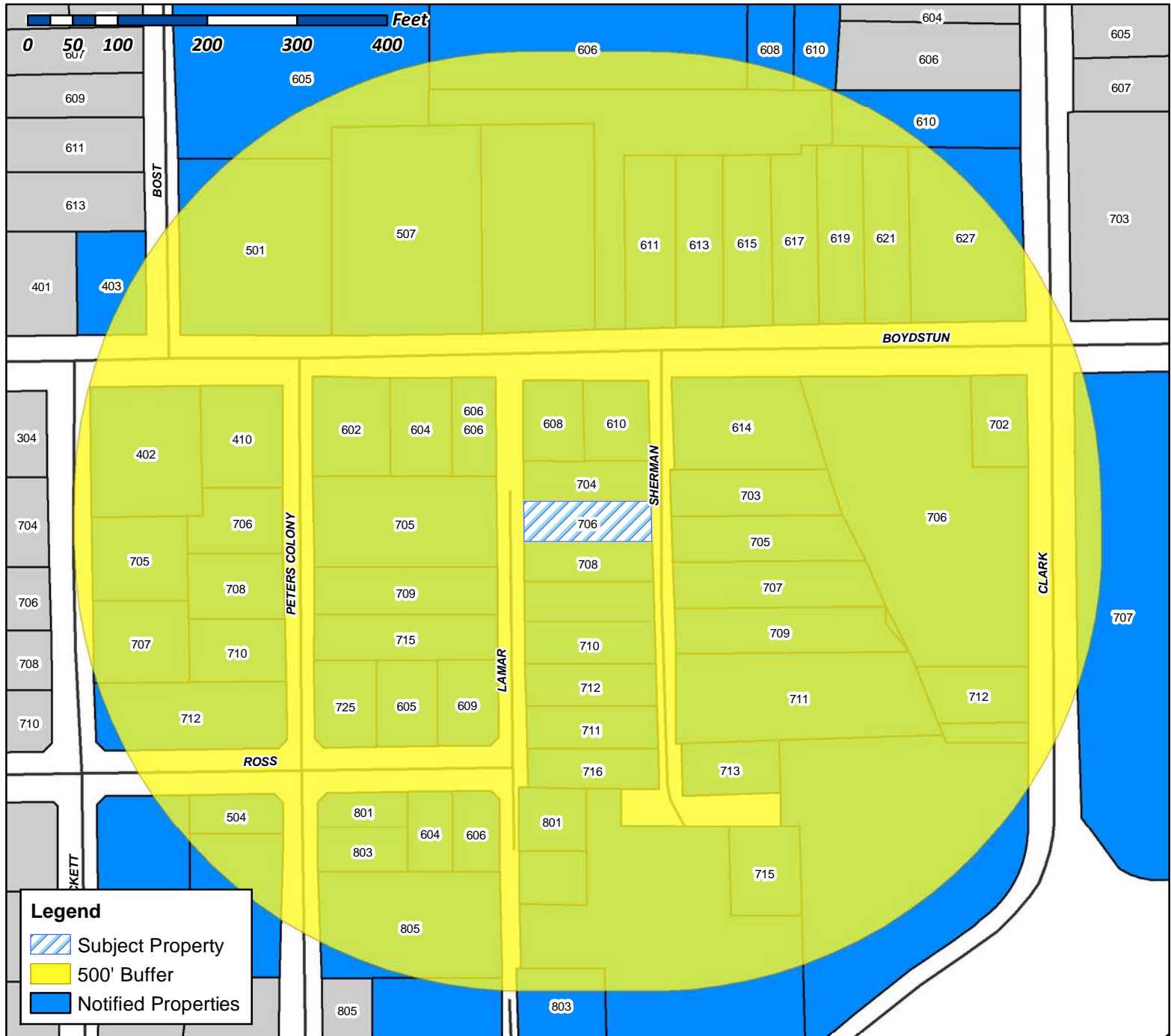




City of Rockwall

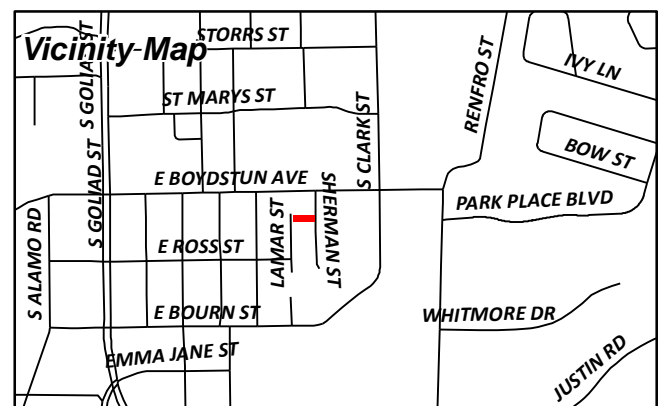
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Case Number: Z2020-012
Case Name: SUP for 706 Sherman
Case Type: Specific Use Permit
Zoning: Single Family 7 (SF-7) District
Case Address: 706 Sherman St.

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745





NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Hold a public hearing to discuss and consider a request by Ryszard M. Waszczuk of Richard Expo on behalf of Vartan Jizmejian for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1030-acre parcel of land identified as Lot 4, Block 111, B. F. Boydston Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

**Korey Brooks
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087**

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-012: SUP for Residential Infill for 706 Sherman Street

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

CURRENT RESIDENT
709 N SHERMAN
ROCKWALL, TX 75087

PEREZ MARIA D
1002 E WOODIN BLVD
DALLAS, TX 75126

JOHNSON PAMELA
1310 COLONY DR
GARLAND, TX 75040

SMITH CHARLES ELLIOT
1421 COASTAL DR
ROCKWALL, TX 75087

HOGUE MIKE & VICKY
1498 HUBBARD DR
FORNEY, TX 75126

STRANGE EMERSON JR
1521 NOVEL CT
GARLAND, TX 75040

PIERATT ALAN & MELODY
1540 MEADOWS CIR
ROCKWALL, TX 75087

NASUFI ZIKRI
1885 HILLCROFT DR
ROCKWALL, TX 75087

DALLAS-GARLAND & NORTHEASTERN RAILROAD
C/O GENESEE & WYOMING RAILROAD
1940 ENCHANTED WAY 201
GRAPEVINE, TX 76051

BALL JUSTIN
2155 CLUBVIEW DR
ROCKWALL, TX 75087

LEW AND LIN INVESTING LLC
2289 CR 643
NEVADA, TX 75173

OSORNIO JEANNIFFER AND
NOHEMA ESTRADA MACHARIGUE
2307 WHITE ROAD
HEATH, TX 75032

HANEY W
2824 MISTY RIDGE
ROCKWALL, TX 75032

KATELY CHARLES LEE & THELMA S
309 ANDERSON ST
OAKDALE, LA 71463

HAMANN BRENT
315 ROLLING MEADOWS CIR
ROCKWALL, TX 75087

RANDOLPH JAMES R JR
3314 ANNA CADE RD
ROCKWALL, TX 75087

TAYLOR THOMAS M & KAY D
402 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
403EBOYDSTUN
ROCKWALL, TX 75087

BOSS MORRIS E AND
DEBRA K BOSS
408 RIDGEVIEW
ROCKWALL, TX 75087

JONES MARGARINE ESTATE
410 E BOYDSTUN AVE
ROCKWALL, TX 75087

UPPER ROOM TEMPLE HOLYNESS
CHURCH
423 WILLOW RIDGE CIRCLE
ROCKWALL, TX 75032

GRUBBS JOHN W
501 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
504 ROSS
ROCKWALL, TX 75087

CURRENT RESIDENT
507EBOYDSTUN
ROCKWALL, TX 75087

ALLEN DONNA ANETTE AND
JACQUELINE YVETTE JACOBS AND JEFFREY
DWAYNE JACOBS
5961 CONNIE LANE
ROCKWALL, TX 75032

NIX NICHOLAS & ROSALIA
602 E BOYDSTUN AVE
ROCKWALL, TX 75087

ESPINOZA SYLVIA AND
JOSEPH FABIAN PEREZ
604 ROSS STREET
ROCKWALL, TX 75087

MOORE JAMES L
604 S CLARK
ROCKWALL, TX 75087

GENTRY GENEVA
605 BOST ST
ROCKWALL, TX 75087

BOUAS MARAYA D & JEFFREY D
605 E ROSS STREET
ROCKWALL, TX 75087

GAMEZ DAVID & PETRA
606 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
606 ROSS
ROCKWALL, TX 75087

WILKERSON CLAUDE JR
606 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
608 ST MARYS
ROCKWALL, TX 75087

CURRENT RESIDENT
608EBOYDSTUN
ROCKWALL, TX 75087

HUBBARD ALPHINEEZES
609 E ROSS ST
ROCKWALL, TX 75087

SCHUMANN LAURIE A
610 E BOYDSTUN AVE
ROCKWALL, TX 75087

FARRELL KIMBERLY A
610 SAINT MARY ST
ROCKWALL, TX 75087

CURRENT RESIDENT
610SCLARK
ROCKWALL, TX 75087

SMITH CHARLES
611 E BOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
611EBOYDSTUN
ROCKWALL, TX 75087

CARPENTER KATHRYN ANN
613 E BOYDSTUN AVE
ROCKWALL, TX 75087

GAMEZ DAVID
614 E BOYDSTUN AVE
ROCKWALL, TX 75087

WOOD JORDAN AND ERIN
615 E BOYDSTUN AVENUE
ROCKWALL, TX 75032

CURRENT RESIDENT
617EBOYDSTUN
ROCKWALL, TX 75087

WOODARD JENNIFER
619 E BOYDSTUN AVE
ROCKWALL, TX 75087

CURRENT RESIDENT
621 BOYDSTUNAVE
ROCKWALL, TX 75087

KAUFMANN DOUGLAS A
627 SORITA CIRCLE
HEATH, TX 75032

CURRENT RESIDENT
627EBOYDSTUN
ROCKWALL, TX 75087

CURRENT RESIDENT
702SCLARK
ROCKWALL, TX 75087

ROSS LESLIE
703 SHERMAN ST
ROCKWALL, TX 75087

SCROGGINS MURRAY
704 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
705 DAVY CROCKETT
ROCKWALL, TX 75087

STRANGE ANTHONY I SR & LISA D
705 N SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
705 PETERS COLONY
ROCKWALL, TX 75087

DABNEY AUDRY
706 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
706 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
706SCLARK
ROCKWALL, TX 75087

CRENSHAW LORENZA
707 DAVY CROCKETT ST
ROCKWALL, TX 75087

ABARCA JOANNE
707 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
707SCLARK
ROCKWALL, TX 75087

CURRENT RESIDENT
708 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
708 SHERMAN
ROCKWALL, TX 75087

HEJI PAUL M
709 PETERS COLONY
ROCKWALL, TX 75087

HOLLAND ROBIN
709 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
710 PETERS COLONY
ROCKWALL, TX 75087

SANCHEZ FATIMA L
710 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
711 LAMAR
ROCKWALL, TX 75087

ALLEN ETHEL JEAN
711 SHERMAN ST
ROCKWALL, TX 75087

CURRENT RESIDENT
712 CLARK
ROCKWALL, TX 75087

LINVEL MELBA RUTH ESTATE
712 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
712 SHERMAN
ROCKWALL, TX 75087

DENSON PATRICIA STRANGE
713 SHERMAN ST
ROCKWALL, TX 75087

CABERA JUAN R & NOEMI E
715 PETERS COLONY
ROCKWALL, TX 75087

CURRENT RESIDENT
715 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
716 SHERMAN
ROCKWALL, TX 75087

CURRENT RESIDENT
725 PETERS COLONY
ROCKWALL, TX 75087

ROCKWALL HOUSING DEV CORP
A TEXAS NON-PROFIT CORP OF RW
787 HAIL DR
ROCKWALL, TX 75032

ROCKWALL INDEPENDENT SCHOOL
DISTRICT PUBLIC FACILITY CORP
801 E WASHINGTON ST
ROCKWALL, TX 75087

MATHIS MALCOLM AND CHRISTIE
801 LAMAR ST
ROCKWALL, TX 75087

HASS DANIEL & AMBER
801 PETERS COLONY
ROCKWALL, TX 75087

SHAW JERRY GAIL
803 LAMAR ST
ROCKWALL, TX 75087

FISHER JESSICA
803 PETERS COLONY
ROCKWALL, TX 75087

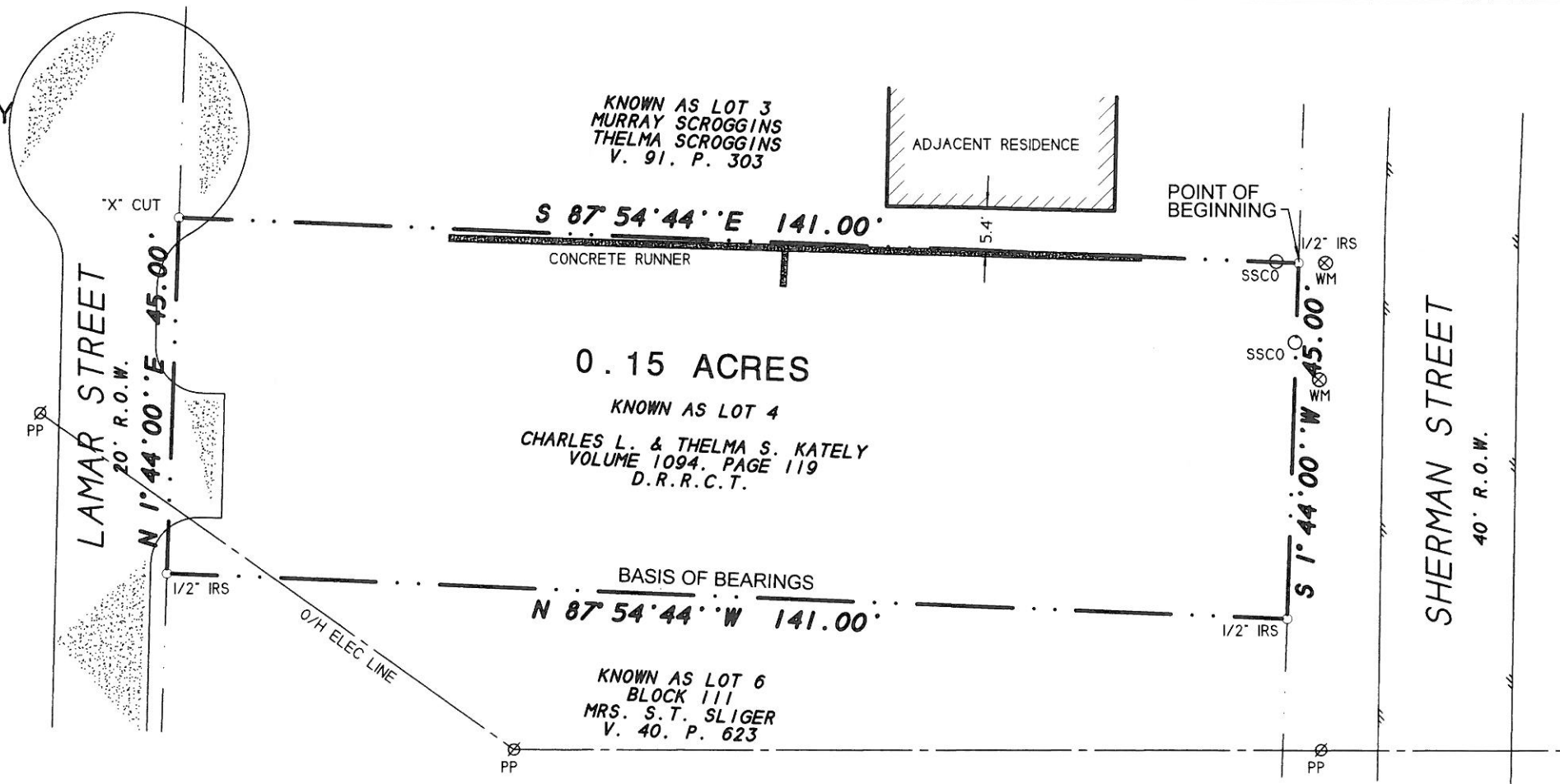
ST PAUL AFRICAN METHODIST
EPISCOPAL CHURCH
805 PETERS COLONY
ROCKWALL, TX 75087

C SCOTT LEWIS HOMES INC
900 HEATHLAND CROSSING
HEATH, TX 75032

CANALES ZAMORA FAMILY TRUST
ROMAN FRANCISCO CANALES & ROSA MARIA
ZAMORA MIRANDA-TRUSTEE
P O BOX 291
FATE, TX 75132

ROCKWALL HABITAT FOR HUMANITY
PO BOX 4
ROCKWALL, TX 75087

PLAT OF SURVEY



DESCRIPTION

All that certain lot, tract or parcel of land situated in the N.M. BALLARD SURVEY, ABSTRACT NO. 48, City of Rockwall, Rockwall County, Texas, and being all of a tract of land known as Lot 4, Block 111, as described in a Warranty deed from Tom Bieger to Charles Lee Kately and Thelma S. Kately, dated February 29, 1996 and being recorded in Volume 1094, Page 119 of the Real Property Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" set for corner in the West right-of-way line of Sherman Street (40' R.O.W.) at the Northeast corner of said Kately tract and being at the Southeast corner of Lot 3, Block 111 as described in a Warranty deed from James Brown and Lavesta Lee Brown to Murray Scroggins and Thelma Scroggins, dated April 1, 1970 and being recorded in Volume 91, Page 303 of the Real Estate Records of Rockwall County, Texas;

THENCE S. 01 deg. 44 min. 00 sec. W. along said right-of-way line, a distance of 45.00 feet to a 1/2" iron rod found for corner at the Southeast corner of said Kately tract;

THENCE N. 87 deg. 54 min. 44 sec. W. a distance of 141.00 feet to a 1/2" iron rod with yellow plastic cap stamped "R.S.C.I. RPLS 5034" found for corner in the east line of Lamar Street (20' R.O.W.);

THENCE N. 01 deg. 44 min. 00 sec. E. along said right-of-way line, a distance of 45.00 feet to an "X" cut for corner at the Southwest corner of said Lot 3 and the Northwest corner of said Kately tract;

THENCE S. 87 deg. 54 min. 44 sec. E. along the common line between said Lot 3 and Kately tract, a distance of 141.00 feet to the POINT OF BEGINNING and containing 0.15 acres of land.

SURVEY ACCEPTED BY:

DATE

DATE

NOTES

- 1) According to F.E.M.A. Flood Insurance Rate Map. Community Panel No. 48397C0040 L dated Sept. 26, 2008, this property lies in Zone X. This property does not appear to lie within a 100-year flood plain.
- 2) BEARING SOURCE: RECORDED PLAT VOL. 40, PG. 148, D.R.R.C.T..
- 3) ALL 1/2" IRS ARE CAPPED WITH YELLOW PLASTIC CAPS "R.S.C.I. RPLS 5034."

SURVEYOR'S CERTIFICATE

I, Harold D. Fetty, III, Registered Professional Land Surveyor No. 5034, do hereby certify that the above plat of the property surveyed for Charles L. and Thelma S. Kately at 706 Sherman Street, Rockwall, Rockwall County, Texas, is the result of a careful collection of the best evidence available to me and my opinion is based on the facts as found at the time of survey. This survey meets the requirements of the Minimum Standards of Practice as approved and published by the Texas Board of Professional Land Surveying, effective September 1, 1992 and subsequent revisions, and the same was surveyed under my supervision on the ground this the 18th day of November, 2019.

Harold D. Fetty III, R.P.L.S. No. 5034



2020-012

H.D. Fetty Land Surveyor, LLC

Firm Registration no. 10150900

6770 FM 1565 ROYSE CITY, TX 75189 972-635-2255 PHONE tracy@hdfetty.com

SYMBOL LEGEND

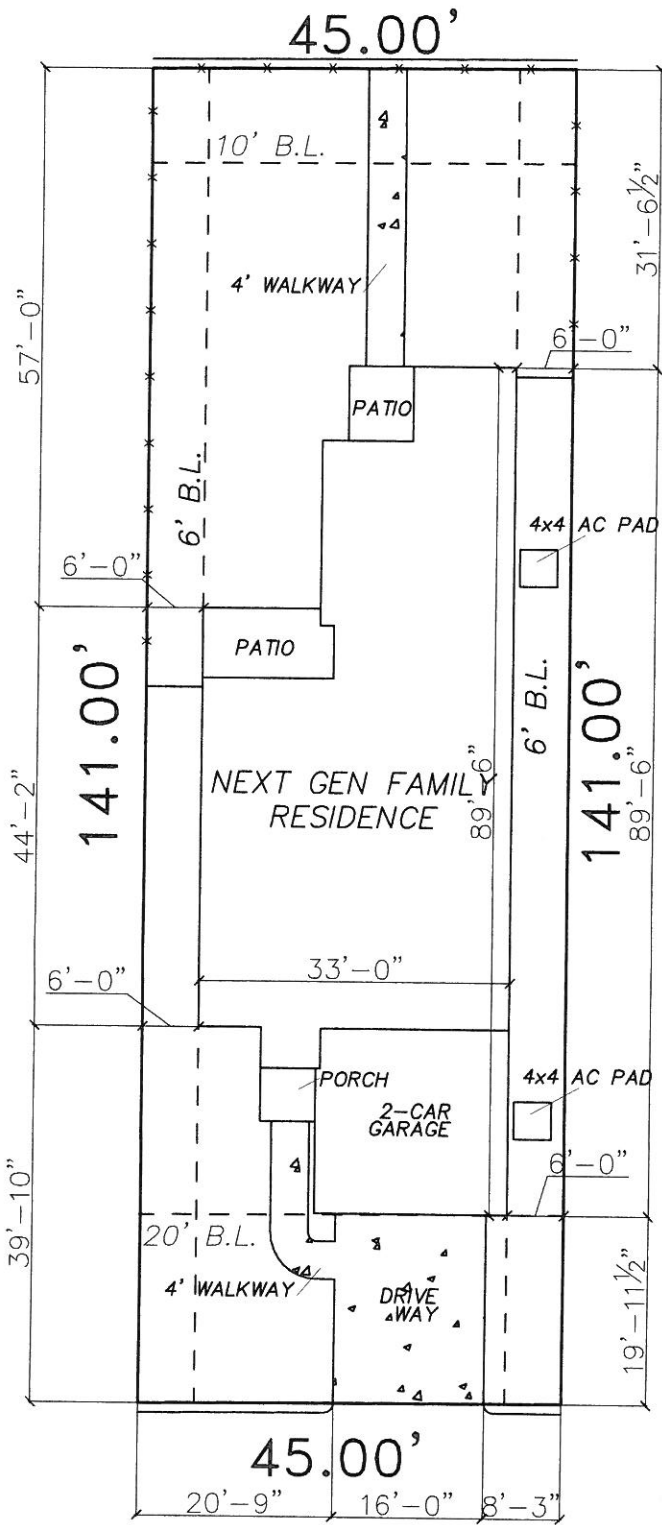
TV TELEVISION CABLE RISER	GAS GAS METER	TEL PHONE RISER	FH FIRE HYDRANT	PP POWER POLE
ELEC ELECTRIC METER	ELEC BOX SUBSURFACE JUNCTION BOX	WM WATER METER	LP LIGHT POLE	1/2" IRS IRON ROD FOUND (CORNER)
FENCE	EASEMENT LINE	PROPERTY LINES	A/C AIR COND UNIT	PROP PROPANE TANK

SURVEY DATE NOVEMBER 18, 2019
SCALE 1" = 20' FILE # 20190380
CLIENT KATELY GF # NONE



NORTH
SCALE: 1' = 20'-0"

LAMAR STREET



SHERMAN STREET

22020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DUELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES: _____

LEGEND	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
- EXISTING FENCE		P.A.E. - PEDESTRIAN ACCESS EASEMENT
- CURLEX		S.S.E. - SANITARY SEWER EASEMENT
- RETAINING WALL		T.E. - TRANSFORMER EASEMENT
- REQUIRED TREE PLANTING		U.E. - UTILITY EASEMENT
- REQUIRED BUSH		W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E. - VISIBILITY EASEMENT
		- EXPOSED AGGREGATE CONCRETE

BUILDER: RICHARD EXPO.	DATE: 02/07/20
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

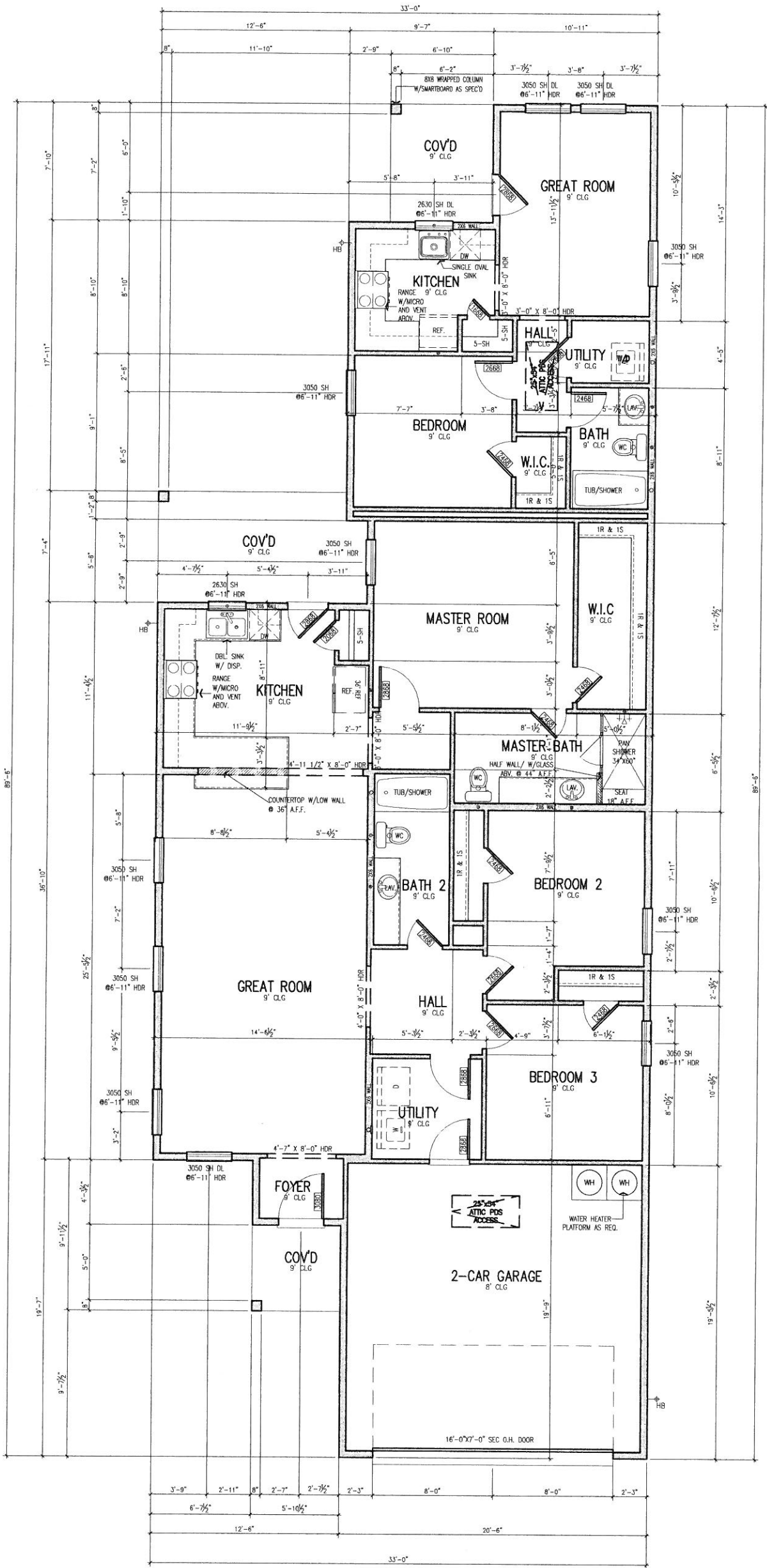
DDS GROUP

PLOT PLAN

NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDE BY MEGATEL. ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER, FLATWORK IS ONLY A REPRESENTATION.

AREA CALCULATIONS_1803A					
	INTERIOR		EXTERIOR		W/MASONRY
	FRAME		FRAME		
First Floor	1839	SQ. FT.	1745	SQ. FT.	1,745 SQ. FT.
Second Floor	0	SQ. FT.	0	SQ. FT.	0 SQ. FT.
Total Living Area	1,839	SQ. FT.	1,745	SQ. FT.	1,745 SQ. FT.
1-Car Garage	0	SQ. FT.	0	SQ. FT.	0 SQ. FT.
2-Car Garage	398	SQ. FT.	373	SQ. FT.	373 SQ. FT.
3-Car Garage	0	SQ. FT.	0	SQ. FT.	0 SQ. FT.
Total Garage Area	398	SQ. FT.	373	SQ. FT.	373 SQ. FT.
Covered Porch	0	SQ. FT.	33	SQ. FT.	33 SQ. FT.
Covered Patio	0	SQ. FT.	153	SQ. FT.	153 SQ. FT.
Covered Balcony	0	SQ. FT.	0	SQ. FT.	0 SQ. FT.
Total Covered Porch/Patio Area	0	SQ. FT.	186	SQ. FT.	186 SQ. FT.
Total Slab Area					2,304 SQ. FT.
Total Under Roof					2,304 SQ. FT.
Total Interior Frame	2,237	SQ. FT.			
Total Exterior Frame			2,304	SQ. FT.	
Overall Width = 39'-11"		Overall Depth = 61'-6"			

1 ELEVATION A
A1 FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



Z 2020-012

SHEET NO.
A1
OF
15

ISSUED FOR REVIEW
02/06/2020

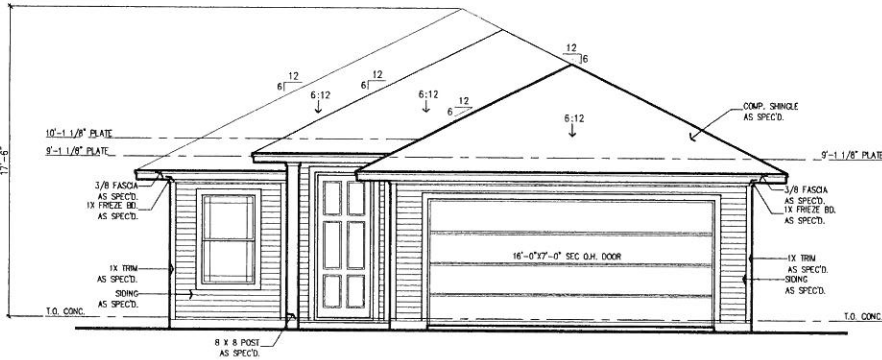
REVISIONS:

DESIGN PLAN NUMBER:
N/S
ELEVATION-A
GARAGE: FRONT ENTRY

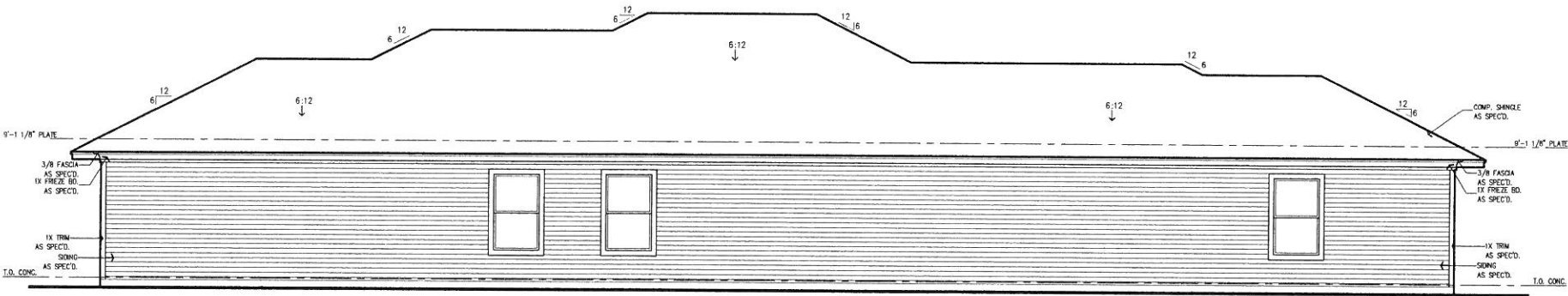
NEW RESIDENCE FOR:
DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050

DDS GROUP
DESIGN & DRAFTING GROUP SERVICES
132 E. MAIN STREET, SUITE 202
GRAND PRAIRIE, TX 75050
(940) 261-1111

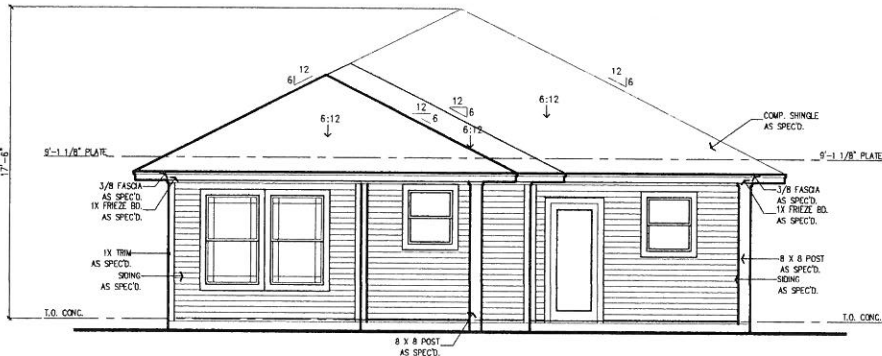
MATERIAL AREA TABULATIONS										
	BRICK VENEER			STONE VENEER			SIDING/STUCCO			TOTAL
Front Elevation	0	S.F.	0.00%	0	S.F.	0.00%	64	S.F.	100.00%	64 S.F.
Right Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	622	S.F.	100.00%	622 S.F.
Rear Elevation	0	S.F.	0.00%	0	S.F.	0.00%	133	S.F.	100.00%	133 S.F.
Left Side Elevation	0	S.F.	0.00%	0	S.F.	0.00%	532	S.F.	100.00%	532 S.F.
Total Area	0	S.F.		0	S.F.		1,351	S.F.		1,351 S.F.
Total Brick Area							0	S.F.		0.00%
Total Stone Area							0	S.F.		0.00%
Total Siding Area							1,351	S.F.		100.00%
Overall Width = 39'-11"							Overall Depth = 61'-6"			



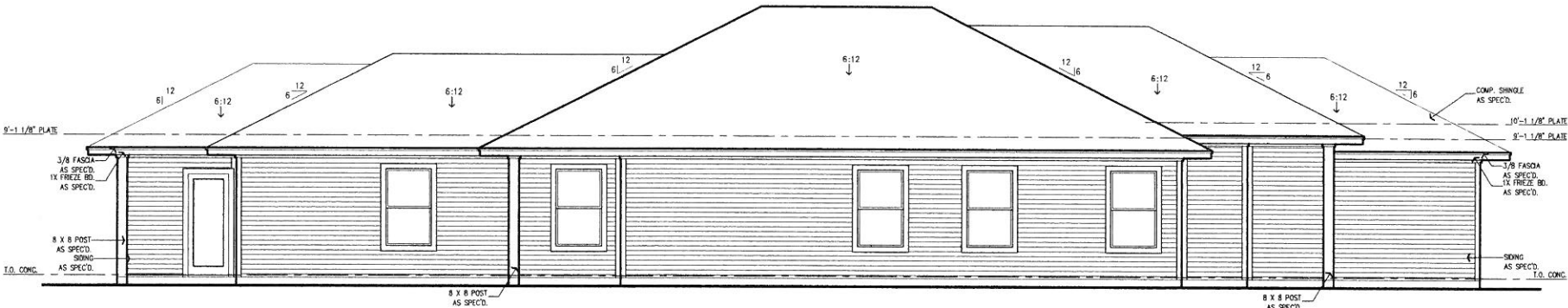
1
A3
ELEVATION A
FRONT ELEVATION
SCALE: 3/32" = 1'-0"



2
A3
ELEVATION A
RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3
A3
ELEVATION A
REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4
A3
ELEVATION A
LEFT ELEVATION
SCALE: 3/32" = 1'-0"

Z 2020-012

SHEET NO.

A3
OF
15

LULLIAN CUSTOM HOMES 2017
DRAWN BY:
DDSG-AA

ISSUED FOR REVIEW
02/06/2020

REVISIONS:

DESIGN PLAN NUMBER:

N/S

ELEVATION:A
GARAGE: FRONT ENTRY

NEW RESIDENCE FOR:

DESIGN & DRAFTING GROUP SERVICES
ADDRESS: 132 E. MAIN STREET
SUITE 202
GRAND PRAIRIE, TX 75050

DDS GROUP

Adjacent Housing Attributes

Address	Year Built	House SF	Accessory Building SF	Exterior Materials
703 Sherman Street	1980	980	-	Brick
704 Sherman Street	1980	980	-	Wood Siding
705 Sherman Street	1994	1,350	117	Brick and Hardi-Board Siding
707 Sherman Street	2007	1,494	-	Brick and Hardi-Board Siding
708 Sherman Street	1974	1,400	480	Wood Siding
709 Sherman Street	2007	1,494	40	Brick and Hardi-Board Siding
710 Sherman Street	1994	1,200	-	Hardi-Board Siding
713 Sherman Street	1990	1,896	-	Brick
Averages:	1991	1,349	610	



703 Sherman Street



704 Sherman Street



705 Sherman Street



707 Sherman Street



708 Sherman Street



709 Sherman Street



710 Sherman Street



713 Sherman Street

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1030-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 4, BLOCK 111, B. F. BOYDSTUN ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request Ryszard M. Waszczuk for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.1030-acre parcel of land being described as Lot 4, Block 111, B. F. Boydstud Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, situated within the Southside Residential Neighborhood Overlay (SRO) District, addressed as 706 Sherman Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards* and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code

(UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the Subject Property to comply with the following:

- 1) Upon obtaining a Building Permit, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlines in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A'
Zoning Exhibit

Address: 706 Sherman Street

Legal Description: Lot 4, Block 111, B. F. Boydston Addition

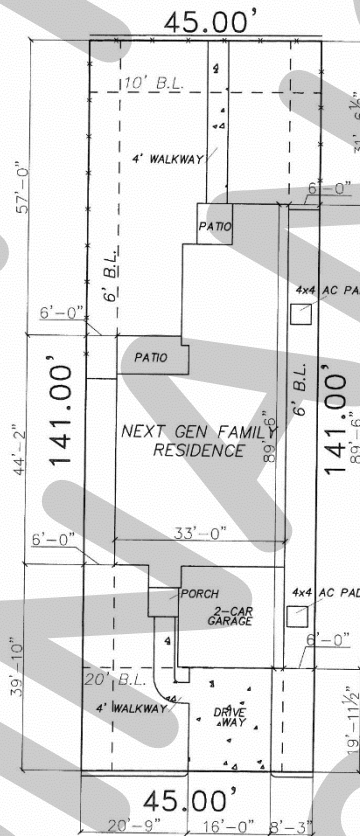


Exhibit 'B':
Residential Plot Plan



NORTH
SCALE: 1" = 20'-0"

LAMAR STREET



SHERMAN STREET

Z2020-012

SITE PLAN TABLE

ADDRESS: 706 SHERMAN ST.
CITY: ROCKWALL, TX
LOT: 4 BLOCK: N/A
LOT SF: 6,345 SF
PROPOSED NEXT GEN FAMILY DWELING SF: 2,424 SF
TOTAL PROPOSED BUILDING COVERAGE %: 38.2%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 2,975 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 46.8%

CUSTOMER SIGNATURE: _____

DATE: _____

NOTES: _____

LEGEND		DRAINAGE FLOW
		PROPOSED FENCE
		EXISTING FENCE
		CURLEX
		RETAINING WALL
		REQUIRED TREE PLANTING
		REQUIRED BUSH

B.L. - BUILDING LINE
D.E. - DRAINAGE EASEMENT
P.A.E. - PEDESTRIAN ACCESS EASEMENT
S.S.E. - SANITARY SEWER EASEMENT
T.E. - TRANSFORMER EASEMENT
U.E. - UTILITY EASEMENT
W.M.E. - WALL MAINT. EASEMENT
M.E. - MAINTENANCE EASEMENT
V.E. - VISIBILITY EASEMENT
* - EXPOSED AGGREGATE CONCRETE

BUILDER: RICHARD EXPO.	DATE: 02/07/20
ADDITION: ROCKWALL	DRAWN BY: DDSG-A.A
ADDRESS: 706 SHERMAN ST.	CITY: ROCKWALL
LOT: 4 BLOCK: N/A	PLAN: N/A ELEVATION: A
PHASE: N/A	SWING: RIGHT
OPTION: N/A	

DDS GROUP

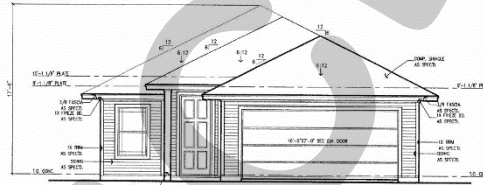
PLOT PLAN

NOTE: ARCHITECTURAL PLANS TAKE PRECEDENCE OVER ALL DRAWINGS. ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY MEGATEL. ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF TOES AND ALL PLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE CITY OF ROCKWALL. IT IS A WORK PRODUCT OF A SUBSEQUENT SURVEY.

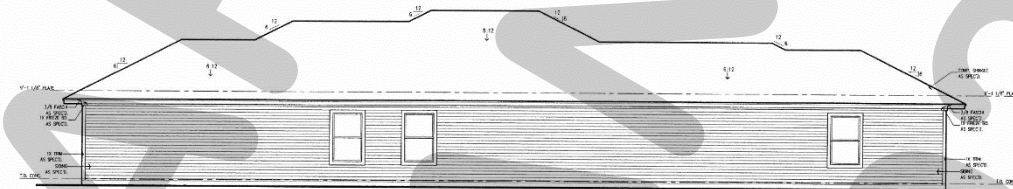
Exhibit 'C': Building Elevations

MATERIAL AREA TABULATIONS				
	BRICK (S.F.)	STONE (S.F.)	SHINGLES (S.F.)	TOTAL
Front Elevation	0	0	64	64
Right Side Elevation	0	0	622	622
Rear Elevation	0	0	133	133
Left Side Elevation	0	0	532	532
Total Area	0	0	1,351	1,351
Total Brick Area	0	0	0	0
Total Stone Area	0	0	0	0
Total Shing Area	0	0	1,351	1,351
Overall Ratio = 32'-11"	Overall Depth = 61'-8"			

1
A3
ELEVATION A
FRONT ELEVATION
SCALE: 3/32" = 1'-0"



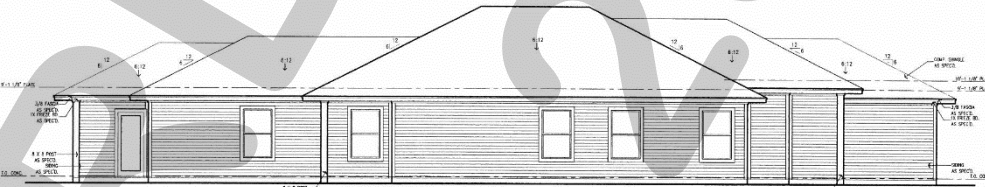
2
A3
ELEVATION A
RIGHT ELEVATION
SCALE: 3/32" = 1'-0"



3
A3
ELEVATION A
REAR ELEVATION - A
SCALE: 3/32" = 1'-0"



4
A3
ELEVATION A
LEFT ELEVATION
SCALE: 3/32" = 1'-0"



Z 2020-012

SHEET NO. A3 OF 15	DESIGNED BY DRAWN BY CHECKED BY ISSUED FOR REVIEW DATE	REVISIONS	DESIGN PLAN NUMBER: N/S	NEW RESIDENCE FOR DESIGN & DRAFTING GROUP SERVICES ADDRESS: 187 E. MAIN STREET SUITE 202 GRAND PRAIRIE, TX 75050	DDS GROUP
			ELEVATION A GARAGE FRONT ENTRY		



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: April 28, 2020

APPLICANT: Alejandro Portocarrero

CASE NUMBER: Z2020-014; *Specific Use Permit (SUP) for a Residential Infill for 328 Harborview Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

BACKGROUND

The *subject property* is located within the Harbor Landing, Phase 2 Subdivision, which was filed with Rockwall County in 1987. Prior to the filing of the plat, on October 29, 1973, the City Council approved the annexation of the Chandlers Landing Addition [*i.e. Ordinance No. 73-43*], and Planned Development District 8 (PD-8) [*i.e. Ordinance No. 73-48*], which established single-family, multi-family, and other land uses for the Chandlers Landing Subdivision. On April 2, 1984, the City Council approved an amendment to PD-8 [*i.e. Ordinance No. 84-16*], establishing special conditions and provisions for Tract 1A containing 17.7348-acres, which included height restrictions of no more than 30-feet above existing grade or 12-feet above the building line elevation of the uphill lots. On June 15, 1987, the City Council approved *Resolution No. 87-20* authorizing a settlement agreement with Rockwall Harbor Landing, Inc. regarding the interpretation and application for the building pad elevations and maximum elevations established in *Ordinance No. 84-16*. The resolution also defined the house height restrictions for certain lots within the Harbor Landing Addition, and established height limitations of 30-feet or less for these lots (*see Exhibit 'C' of this case memo*). The proposed single-family home does not exceed the maximum rooftop elevation, maximum pad elevation, or maximum house height as established per the court order [*i.e. Resolution No. 87-20*] for the subject property.

PURPOSE

The applicant, *Alejandro Portocarrero*, is requesting the approval of a Specific Use Permit (SUP) for the purpose of construction a single-family home on Lot 24, Block C, Harbor Landing, Phase 2 Addition (*i.e. 328 Harborview Drive*) in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 328 Harborview Drive. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property is a continuation of the Chandlers Landing Subdivision. The subdivision is primarily a multi-phase residential development containing single-family and multi-family land uses zoned Planned Development District 8 (PD-8).
- South: Directly south of the subject property is the Chandlers Landing Marina, which is zoned Agricultural (AG) District. Beyond this is Lake Ray Hubbard, a recreational lake that is within the city limits of the City of Dallas.

East: Directly east of the subject property is a continuation of the Chandlers Landing Subdivision. The subdivision is primarily a multi-phase residential development containing single-family and multi-family land uses zoned Planned Development 8 District (PD-8).

West: Directly west of the subject property is a continuation of the Chandlers Landing Subdivision, which is primarily a multi-phase residential development containing single-family and multi-family land uses. Beyond the single-family homes is an area that contains the bulk of the multi-family residential housing known as the Spyglass Hill Addition. Additionally, there are two (2) vacant tracts of land totaling 6.88-acres (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition & Tract 134-12, of the E. Teal Survey, Abstract No. 207*) that are zoned Planned Development 8 District (PD-8) for single-family zero-lot-line land uses.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years." As stated above the Harbor Landing, Phase 2 Subdivision has been in existence since October 5, 1987, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This subject property being in a Planned Development District for Single-Family 7 (SF-7) District land uses requires a Specific Use Permit (SUP).

In addition, according to Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Harborview Drive, Between Harbor Landing Drive and Chandlers Marina	Proposed Housing
Building Height	Two (2) Story (<i>Maximum Heights per Court Order per Individual Lot</i>)	Two (2) Stories 20'-8" (<i>Not to Exceed 22-feet Maximum Height per Court Order</i>)
Building Orientation	All homes face towards Harborview Drive, Harbor Landing Drive, & Portview Place	The front elevations of the home will face on to Harborview Drive.
Year Built	1994-2018	N/A
Building SF on Property	2,325 SF – 4,780 SF	2,570 SF
Building Architecture	Various [<i>Custom Built</i>]	<i>Custom Build</i>
Building Setbacks:		
Front	The front setbacks range from 20-feet to 56-feet (<i>cul-de-sac/curvilinear lots</i>)	20-feet
Side	The side yard setbacks are between 5-feet and 6-feet minimums.	5-feet
Rear	The rear yard setbacks are a minimum of 10-feet.	10-feet
Building Materials	Stone, Brick, Stucco, Wood or Masonry Siding.	Stucco, Brick, and Wood Siding
Paint and Color	Various	White and Gray Stone, Black Stucco, Wood Siding, with Black and White Trim
Roofs	Composite Shingles and Standing Seam Metal	Metal Seamed Panels (Flat Roof Design)
Driveways	Front Entry Garages	Front Entry Garage Accessible from Harborview Drive

Staff should note that the proposed single-family meets all of the density and dimensional requirements for the Single Family 7 (SF-7) District as stipulated by the Unified Development Code (UDC) and Planned Development District 8 (PD-8). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached

packet. Staff should point out that while there is only one (1) example of a home utilizing modern architecture along Harborview Drive, there are other examples of modern homes throughout the Chandler's Landing Subdivision. In addition, the subdivision has an eclectic mix of homes utilizing various architectural styles; however, the approval of this request is discretion to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

NOTIFICATIONS

On April 8, 2020, staff notified 115 property owners and occupants within 500-feet of the subject property. Staff also notified the Chandler's Landing, the Cabana's at Chandler's Landing, Match Point Townhomes, and the Spyglass Homeowners Association (HOA's), which are the only HOA/Neighborhood Associations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. At the time this report was written, staff had received one (1) email in opposition of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

4/8/2020

City of Rockwall
Project Plan Review History



Project Number	Z2020-014	Owner	ALEJANDRO PORTOCARRERO	Applied	3/20/2020	AG
Project Name	SUP for 328 Harborview Drive	Applicant		Approved		
Type	ZONING			Closed		
Subtype	SUP			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip	Zoning			
328 HARBORVIEW	ROCKWALL, TX 75032				
Subdivision	Tract	Block	Lot No	Parcel No	General Plan
HARBOR LANDING PH 2	24	C	24	3808-000C-0024-00-OR	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Sarah Johnston	3/20/2020	3/27/2020	3/26/2020	6	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	David Gonzales	3/20/2020	3/27/2020	3/30/2020	10	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(3/30/2020 4:37 PM DG) Z2020-0014; SUP for Residential Infill in Established Subdivision– 328 Harborview Drive Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (Z2020-014) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Development Standards of Planned Development District 8 (PD-8), and Article 04 & Article 05 the Unified Development Code (UDC) that are applicable to the subject property.						
M.5 Please review the draft ordinance when received by staff and provide comments to staff by April 21, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting (i.e. Public Hearing) to be held on April 28, 2020.						
M.6 Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a boat sales, storage and repair facility on the Subject Property, and conformance to these operational conditions is required for continued operations						
1) The subject property shall generally conform to the Plot Plan as depicted in Exhibit 'B' of the draft ordinance; and, 2) The subject property shall generally conform to the Building Elevations as depicted in Exhibit 'C' of the draft ordinance. 3) Upon obtaining a building permit for the subject property and upon approval of the final inspection by the Building Inspections Department of the City of Rockwall, this Specific Use Permit shall expire on the effective date of said final inspection						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on April 21, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the April 28, 2020 Planning & Zoning Meeting.						
I.8 Please note the scheduled meetings for this case:						
1) Planning & Zoning Work Session meeting will be held on April 14, 2020. 2) Planning & Zoning Public Hearing meeting will be held on April 28, 2020. 3) City Council Public Hearing will be held on May 4, 2020. (1st Reading of Ordinance) 4) City Council meeting will be held on May 18, 2020. (2nd Reading of Ordinance)						
I.9 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-014

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 328 HARBORVIEW DR
 Subdivision HARBOR LANDING PHASE 2 Lot 24 Block C
 General Location HARBORVIEW DR CURVE

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning PD-8 Current Use N/A (Empty lot)
 Proposed Zoning Proposed Use Residential
 Acreage 0.23 Lots [Current] 1 Lots [Proposed] 1

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner ALEJANDRO PORTOCARRERO ☐ Applicant
 Contact Person ALEJANDRO PORTOCARRERO Contact Person
 Address 7205 STONE MEADOW CIR Address
 City, State & Zip Rowlett, TX 75088 City, State & Zip
 Phone 214774 7323 Phone
 E-Mail alejandro_portocarrero@hotmail.com E-Mail

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared _____ [Owner] the undersigned, who stated the information on this application to be true and certified the following:

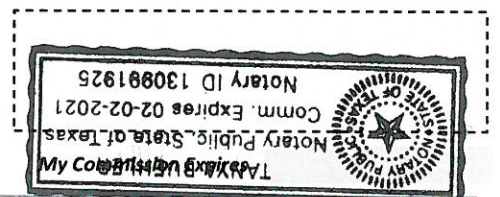
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ _____, to cover the cost of this application, has been paid to the City of Rockwall on this the 20th day of March, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 20th day of March, 2020

Owner's Signature

Notary Public in and for the State of Texas

Jay Buer





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

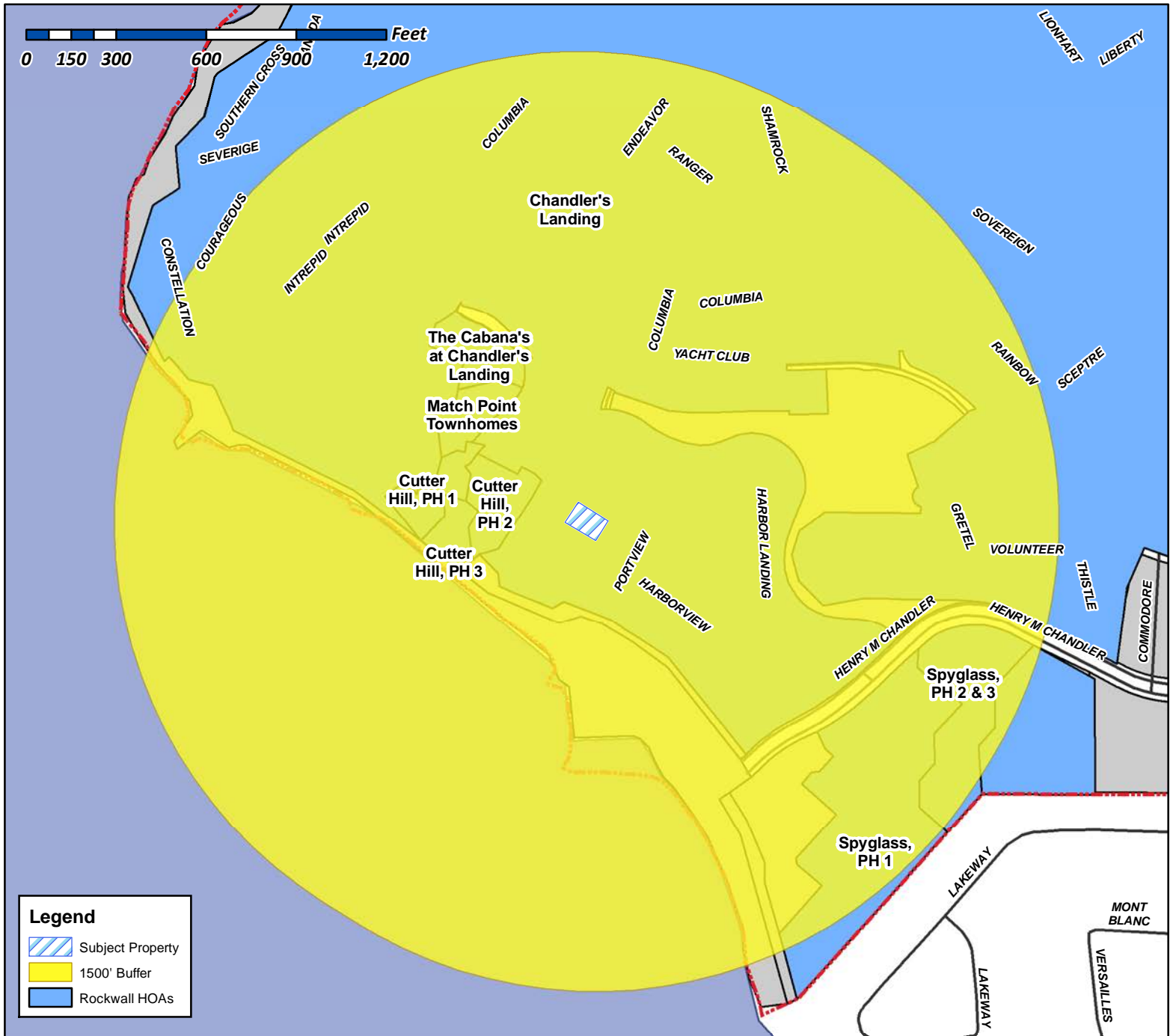




City of Rockwall

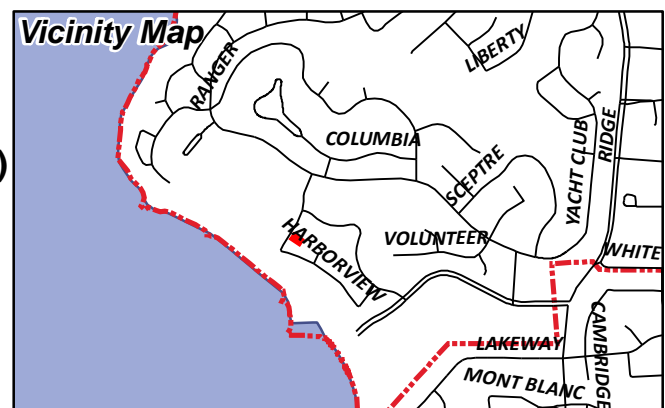
Planning & Zoning Department
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Case Number: Z2020-014
Case Name: SUP for 328 Harborview Dr.
Case Type: Specific Use Permit
Zoning: Planned Development District 8 (PD-8)
Case Address: 328 Harborview Dr.

Date Created: 3/24/2020
For Questions on this Case Call (972) 771-7745



Gonzales, David

From: Gamez, Angelica
Sent: Tuesday, April 7, 2020 11:38 AM
Cc: Miller, Ryan; Brooks, Korey; Gonzales, David
Subject: Neighborhood Notification Program
Attachments: HOA Map Z2020-014.pdf; PUBLIC NOTICE (04.07.2020).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning cases that was published in the Rockwall Herald Banner on *April 10, 2020*. The Planning and Zoning Commission will hold a virtual public meeting on *Tuesday, April 28, 2020 at 6:00 PM*, and the City Council will hold a virtual public meeting on *Monday, May 4, 2020 at 6:00 PM*. Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2020-014- SUP for Residential Infill for 328 Harborview Drive

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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GARDNER DAVID L REV LIV TR
1105 51ST ST W
BRADENTON, FL 34209

CROUCH FAMILY LIVING TRUST
JERROLD F AND KATHLEEN A CROUCH TRUSTEES
134 HENRY M. CHANDLER DR.
ROCKWALL, TX 75032

BOHORQUEZ DAVID
1397 GLENWICK DRIVE
ROCKWALL, TX 75032

SOON HERALD
14300 CERVANTES AVE
GERMANTOWN, MD 20874

THE POTTS-REAGIN HOUSE LLC
1460 E MAIN ST
BARTOW, FL 33830

D'ALISO CHRISTOPHER J
1701 HICKORY CHASE CIR
KELLER, TX 76248

RAY HUBBARD SMI JV LLC
17330 PRESTON ROAD SUITE 220A
DALLAS, TX 75252

SLATE CRAIG AND TANYA
185 S AVENIDA DEL SEMBRADOR
TUSCAN, AZ 85745

PONDER KENNETH & ELMA
1850 ASHBOURNE DR
ROCKWALL, TX 75087

DINKLANG ARTURO A
1923 NORTH FLOYD RD
RICHARDSON, TX 75080

VINES AMY
200 VZCR 3710
EDGEWOOD, TX 75117

LAZYDALE PARTNERS LLP
202 N SAN JACINTO
ROCKWALL, TX 75087

SELZER DEANNA
202 RAINBOW CIRCLE
ROCKWALL, TX 75032

COLLICHIO KIMBERLY ANN
210 RAINBOW CIR
ROCKWALL, TX 75032

SARA M FRANKEL TRUST
SARA M FRANKEL - TRUSTEE
2366 FAYETTEVILLE AVE
HENDERSON, NV 89052

CROMEENS SHAN
2720 EGANRIDGE LN
ROCKWALL, TX 75087

TRAYAH LLC
2897 S NELSON ST
LAKEWOOD, CO 80227

JOHNSON DAVID LEO AND
LINDA J JOHNSON
3021 RIDGE RD #285
ROCKWALL, TX 75032

VINES KENT C AND LINA ZHU
305 HARBOR LANDING DR
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI
307 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
307 HARBORVIEW
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE
308 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
308 HARBORVIEW
ROCKWALL, TX 75032

GRIFFIN DAVID L ET UX
309 HARBOR LANDING DR
ROCKWALL, TX 75032

RENTFROW CHRISTOPHER
309 HARBORVIEW DRIVE
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA
310 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
310 HARBORVIEW
ROCKWALL, TX 75032

JONES SHERIDAN S
311 COLUMBIA DR
ROCKWALL, TX 75032

WIZMANN ERIC & DALE
311 HARBOR LANDING
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA
311 HARBORVIEW DR
ROCKWALL, TX 75032

CURRENT RESIDENT
312 HARBOR LANDING
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L
312 PORTVIEW PL
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND
ROSSITZA I POPOVA
313 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R
313 HARBORVIEW DR
HEATH, TX 75032

PENCE DENNIS AND DIANNA
314 PORTVIEW PL
ROCKWALL, TX 75032

THOMPSON JIM B AND LEIGH A
315 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE
315 HARBORVIEW DR
ROCKWALL, TX 75032

COFFEY JAMES & DEBORAH
316 PORTVIEW PL
ROCKWALL, TX 75032

HENDRICKSON PATSY A
317 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
317 HARBORVIEW
ROCKWALL, TX 75032

REYNOLDS MARVIN C JR & CLARE D
319 HARBOR LANDING DR
ROCKWALL, TX 75032

SELF SCOTT & JANET
319 HARBORVIEW DR
ROCKWALL, TX 75032

LOHR JAMES A & MARGARET P
320 HARBOR LANDING DR
ROCKWALL, TX 75032

POTTS JASON AND ANNA
320 PORTVIEW PLACE
ROCKWALL, TX 75032

LINNSTAEDTER RANDALL AND KIMBERLY
321 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
321 HARBORVIEW
ROCKWALL, TX 75032

WOOD GEORGE & EVELYN
322 HARBOR LANDING DR
ROCKWALL, TX 75032

IMRIE DONALD M & CHERYL K
323 HARBOR LANDING DR
ROCKWALL, TX 75032

BRADSHAW MARCKUS LEWIS AND
VANESSA RIZZARI
324 HARBOR LANDING DRIVE
ROCKWALL, TX 75032

GRAY RUSSELL LEE
325 HARBOR LANDING DR
ROCKWALL, TX 75032

CULLEN GREGORY L & JEAN C
325 HARBORVIEW DR
ROCKWALL, TX 75032

SIVILS LINDA LUDDEN
325 YACHT CLUB DR
ROCKWALL, TX 75032

HOWELL ELMIN K & BETTY K
326 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
326 HARBORVIEW
ROCKWALL, TX 75032

WAGONER SHANNON AND JAMES
327 HARBORVIEW DR
ROCKWALL, TX 75032

ABOU-HAIDAR ISSA S & LAMORA
327 YACHT CLUB DR
ROCKWALL, TX 75032

WHETSELL BETTY R
328 HARBOR LANDING DR
ROCKWALL, TX 75032

CURRENT RESIDENT
328 HARBORVIEW
ROCKWALL, TX 75032

CURRENT RESIDENT
329 HARBORVIEW
ROCKWALL, TX 75032

BOOKHOUT JAMES M & KATHRYN C
329 YACHT CLUB DR
ROCKWALL, TX 75032

MATTES JOHN AND TONG
330 HARBOR LANDING DR
ROCKWALL, TX 75032

MARTIN SERGIO ROBLEDO AND ANDRESSA
HENDLER
330 HARBORVIEW DR
ROCKWALL, TX 75032

MERCKLING BRYAN S AND STACY D
331 HARBORVIEW DR
ROCKWALL, TX 75032

CLARK MELISSA JOYCE & MICHAEL JOHN
331 YACHT CLUB DRIVE
ROCKWALL, TX 75032

VOSPER ALAN AND SHIRLEY
333 HARBORVIEW
ROCKWALL, TX 75032

KUIPERS ROY & KATHY SALFEN
333 YACHT CLUB DR
ROCKWALL, TX 75032

MANASCO MARTIN E AND LISA M
335 HARBORVIEW DR
ROCKWALL, TX 75032

CURRENT RESIDENT
337 HARBORVIEW
ROCKWALL, TX 75032

MOHAN KENNETH
3415 WATERVIEW TRL
ROCKWALL, TX 75087

KORTEMIER WILLIAM F
401 YACHT CLUB DR
ROCKWALL, TX 75032

KENTOPP RICHARD J & MELODY
403 YACHT CLUB DR
ROCKWALL, TX 75032

CENSULLO TERESA ANN
405 COLUMBIA DR
ROCKWALL, TX 75032

CURRENT RESIDENT
405 YACHT CLUB
ROCKWALL, TX 75032

MALLARD DAVID S & SHERRY A
407 COLUMBIA DR
ROCKWALL, TX 75032

MCKAY WILLIAM R & LINDA S
4109 DESERT GARDEN DR
PLANO, TX 75093

O'BOYLE MICHAEL
426 YACHT CLUB DR
ROCKWALL, TX 75032

STENBERG BARBARA JANE
426 YACHT CLUB DR APT C
ROCKWALL, TX 75032

CONINE CHRISTOPHER T
426 YACHT CLUB DR UNIT B
ROCKWALL, TX 75032

WEEKLEY PATRICIA H
426 YACHT CLUB DRIVE #G UNIT C-3
ROCKWALL, TX 75032

FORSYTHE LESLEY K AND
PETER J HOLLY
426 YACHT CLUB DRIVE #H
ROCKWALL, TX 75032

WRIGHT RHONDA
428C YACHT CLUB DR
ROCKWALL, TX 75032

BECK JOAN K
436 YACHT CLUB DR APT A
ROCKWALL, TX 75032

DAVIS KERRI
436 YACHT CLUB DR #G
ROCKWALL, TX 75032

HALL DEREK
436C YACHT CLUB DRIVE
ROCKWALL, TX 75032

JOHNSTON CAROL RUTH
438 YACHT CLUB #E
ROCKWALL, TX 75032

PATRICK ASHLEY NICOLE
438 YACHT CLUB DR #G
ROCKWALL, TX 75032

BRUNS BEVERLY LYNN
440B YACHT CLUB DR
ROCKWALL, TX 75032

VREELAND DENISE AND
DAN CALNON
442 YACHT CLUB DRIVE #B
ROCKWALL, TX 75032

CARRIGAN DOROTHY
450 YACHT CLUB DR APT B
ROCKWALL, TX 75032

RUNYON FLOYD D AND DANA
450 YACHT CLUB DRIVE UNIT # A
ROCKWALL, TX 75032

HARRIS CHAD M
452 YACHT CLUB DRIVE A
ROCKWALL, TX 75032

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

POWELL COQUEACE
454 S YACHT CLUB DRIVE A
ROCKWALL, TX 75032

MCCALISTER SHAWN D & RUSS W WILLIAMSON
&
ELIZABETH R WILLIAMSON
456A YACHT CLUB DR
ROCKWALL, TX 75032

KNEEDLER BRADLEY HARRISON
456C YACHT CLUB DRIVE UNIT 302
ROCKWALL, TX 75032

GREEN JOHN W JR
458 YACHT CLUB DR APT A
ROCKWALL, TX 75032

TUCKER JOHN
4748 SECRET CV
ROCKWALL, TX 75032

CURRENT RESIDENT
501 YACHT CLUB
ROCKWALL, TX 75032

OIWA TAKAAKI
C/O OPEN HOUSE CO LTD
5050 QUORUM DRIVE SUITE 610
DALLAS, TX 75254

BARBEE NATHAN DAVID
517 SKELTON ST
ROYSE CITY, TX 75189

HAMMOND HUDDLE LIVING TRUST
EUGENE WESLEY HUDDLE AND JANE
HAMMOND TRUSTEES
519 E I-30 #704
ROCKWALL, TX 75087

HAMMOND JANE AND
EUGENE WESLEY HUDDLE
519 E INTERSTATE 30 #704
ROCKWALL, TX 75087

HARMON HOSEA VICTOR & ELIZABETH C
519 E INTERSTATE 30 PMB 212
ROCKWALL, TX 75087

COWAN AMY
DAVID SPOENEMAN
5203 SCARBOROUGH LN
DALLAS, TX 75287

GUNTER MARGIE ANN
524 YACHT CLUB DR
ROCKWALL, TX 75032

HUNT DIANE DOLORES
534 YACHT CLUB DRIVE
ROCKWALL, TX 75032

PEARMAN JANICE
536 YACHT CLUB DR
ROCKWALL, TX 75032

FULLER JULIE
5425 BYERS AVE
FORT WORTH, TX 76107

CURRENT RESIDENT
544 YACHT CLUB
ROCKWALL, TX 75032

GILL ATLANTA PROPERTIES LLC
545 KIRNWOOD DRIVE
DALLAS, TX 75232

CURRENT RESIDENT
546 YACHT CLUB
ROCKWALL, TX 75032

MARTIN LAKESHORE PROPERTIES LLC
5601 RANGER DR
ROCKWALL, TX 75032

STROUD SUZETTE AND
LINA NIKOLE SWIZE
581 LOUDER WAY
FATE, TX 75087

2016 BLUM REVOCABLE TRUST
JENNIFER REBECCA BLUM- TRUSTEE
5814 CONSTELLATION CIRCLE
ROCKWALL, TX 75032

ULMEN PEGGY SUE
5909 VOLUNTEER PLACE
ROCKWALL, TX 75032

CONSOLIDATED SYSTEMS INC
6220 GASTON AVE STE 700
DALLAS, TX 75214

CURRENT RESIDENT
7 GREENBELT
ROCKWALL, TX 75032

STIEGELMAR RICHARD L AND DORA L
7 MAGNOLIA DR
MEXICO BEACH, FL 32456

VELASCO ALEJANDRO PORTOCARRERO AND
STEPHANIE G ARAMAYO
7205 STONE MEADOW CIR
ROWLETT, TX 75088

OYHARCABAL HENRY A
783 17TH AVE
SAN FRANCISCO, CA 94121

PROSEK SHERI
803 VILLAGE GREEN DR
ROCKWALL, TX 75087

ARMSTRONG JOHN D
804 EAGLE PASS
HEATH, TX 75032

KAPRANTZAS ENTERPRISES LLC
904 E DAVIS ST. 400
MESQUITE, TX 75149

ROCKWALL HOMES LLC
C/O SAUNDRA HOLLAND
909 CULLINS RD
ROCKWALL, TX 75032

SELF BILLY & KATIE
C/O PRO SOAP 1830 E I30
ROCKWALL, TX 75087

LUCIA LODEMA S TRUSTEE
LUCIA REVOCABLE INTER-VIVOS TRUST
PO BOX 1600
ROCKWALL, TX 75087

MASULA II LIVING TRUST
DURELL D AGHA TRUSTEE
PO BOX 221337
CARMEL, CA 93922

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087

CHANDLERS LANDING COMMUNITY ASSOC
PO BOX 638
ROCKWALL, TX 75087



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-014: SUP for Residential Infill for 328 Harborview Drive

Hold a public hearing to discuss and consider a request by Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.23-acre parcel of land identified as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family land uses, addressed as 328 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, April 28, 2020 at 6:00 PM**, and the City Council will hold a public hearing on **Monday, May 4, 2020 at 6:00 PM**. Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form and return it to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **Monday, May 4, 2020 by 4:00 PM** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning and Zoning
City of Rockwall, Texas



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

PLEASE RETURN THE BELOW FORM

Case No. Z2020-014: SUP for Residential Infill for 328 Harborview Drive

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE















HARBORVIEW DRIVE

75'-5"

20' BL &
UTILITY EASEMENT

25'
FRONT SETBACK

28'-7"

CONCRETE
DRIVEWAY

29'-10"

STONE WALL

SLOPE

SLOPE

HOUSE

MAX ROOF
EL=479'-0"

6" DIA ROOF
DRAIN

EAVES LINE

LINE OF WALL

GUTTER

DRAIN AND DOWNSPOUT

WALKWAY

LATERAL SETBACK

EXISTING STONE
RETAINING WALL

LATERAL SETBACK

10'
BACK SETBACK

5' UTILITY
EASEMENT

53'-1"

EXISTING FENCING

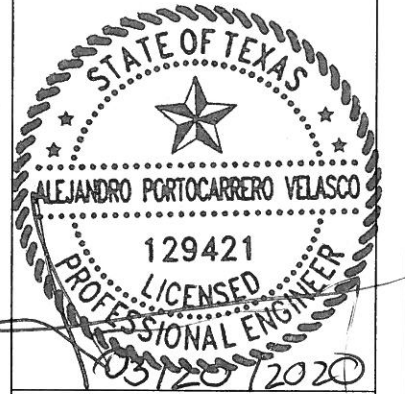
124'-9"



SITE PLAN

SCALE $\frac{3}{32}'' = 1'-0''$

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		
DRAWING TITLE:				

PROJECT NO.

ISSUE DATE
12/14/2019

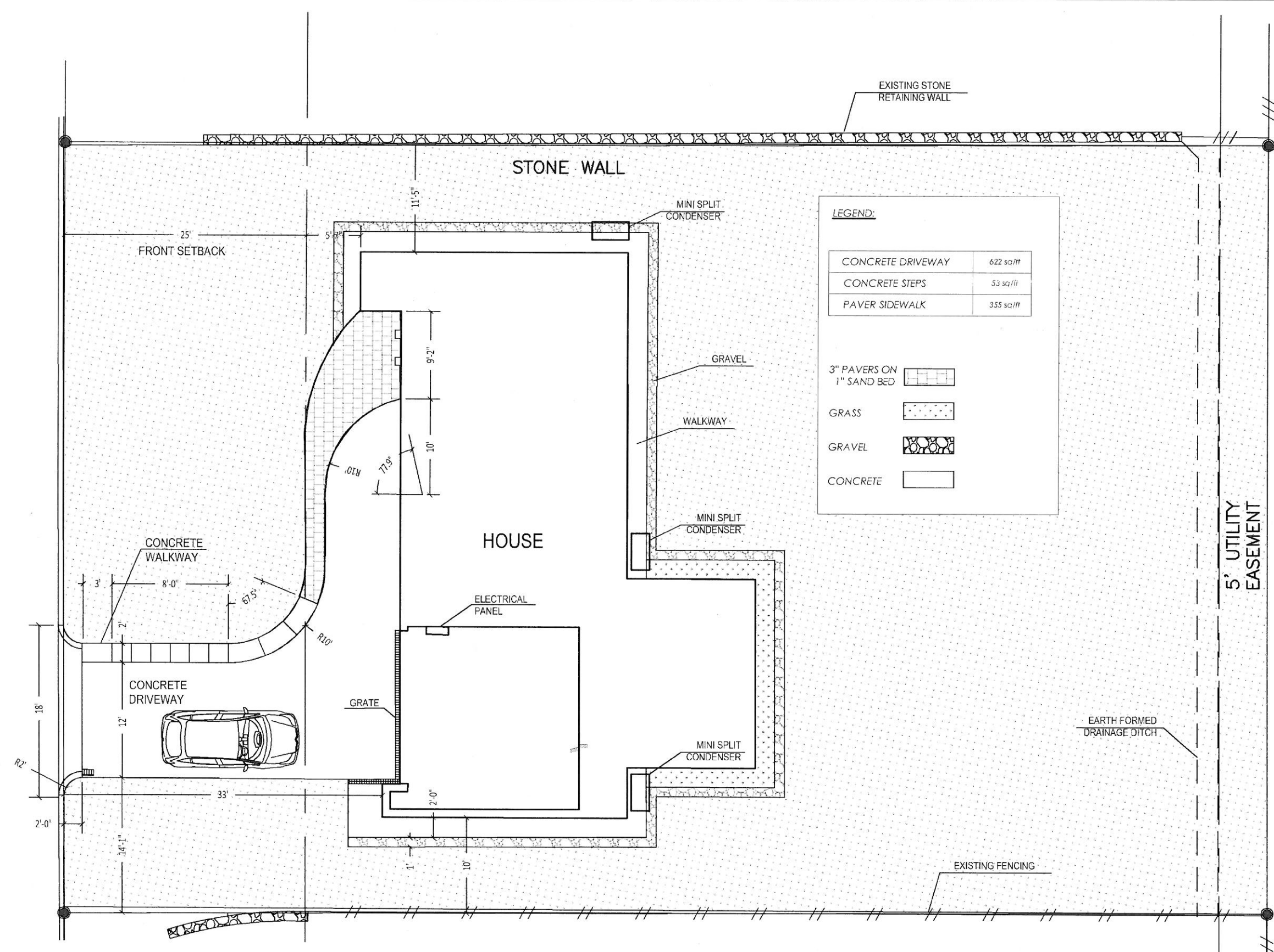
DRAWN BY RO /CHECKED BY AP

APPROVED BY AP

DRAWING NO.
OF

L0.1

HARBORVIEW DRIVE



LEGEND:

CONCRETE DRIVEWAY	622 sq/ft
CONCRETE STEPS	53 sq/ft
PAVER SIDEWALK	355 sq/ft

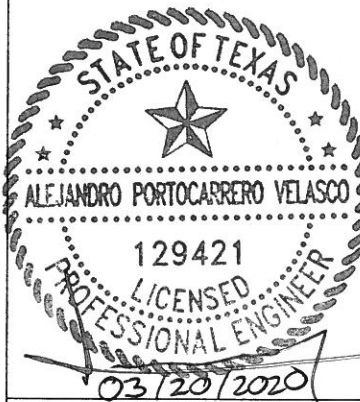
3" PAVERS ON 1" SAND BED

GRASS

GRAVEL

CONCRETE

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY
1	06/10/2019	REVISIONS	RO

DRAWING TITLE:

PROJECT NO.

ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP

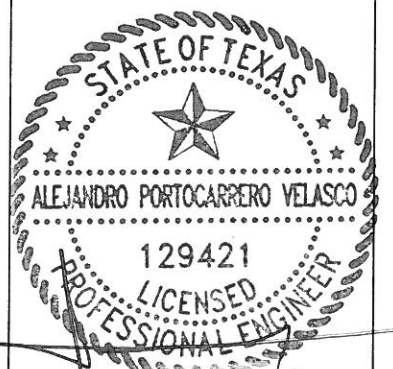
APPROVED BY AP

DRAWING NO.
OF

L0.2

REF. RHODES
SURVEYING JOB
No 100349

ISSUED FOR CONSTRUCTION



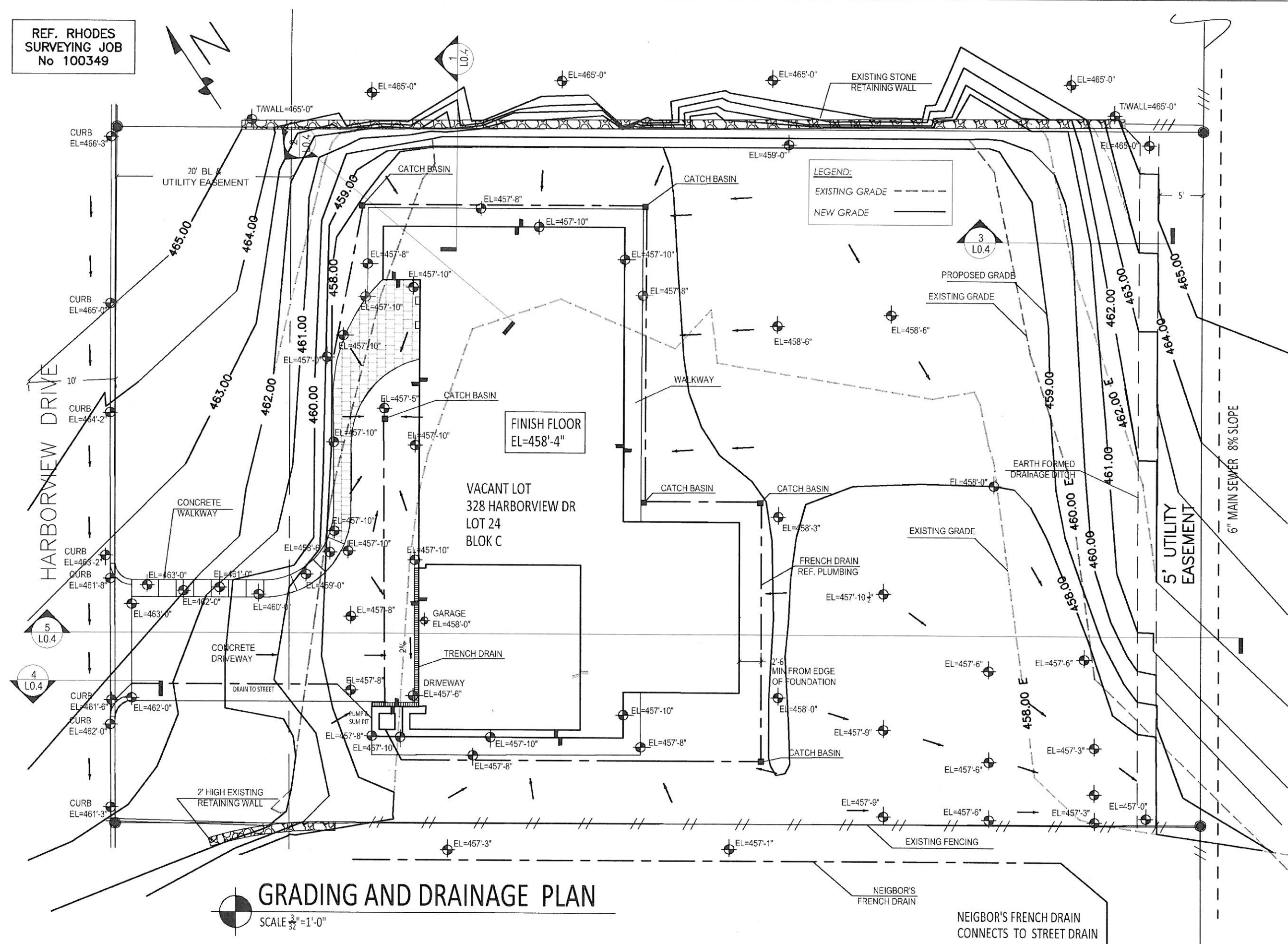
PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		
DRAWING TITLE:				

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP
APPROVED BY AP

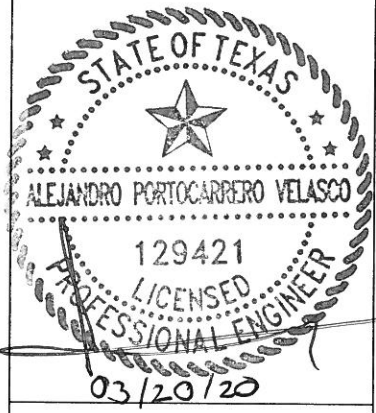
DRAWING NO.
OF
L0.3



GRADING AND DRAINAGE PLAN
SCALE 3/32"=1'-0"

NEIGHBOR'S FRENCH DRAIN
CONNECTS TO STREET DRAIN

ISSUED FOR CONSTRUCTION



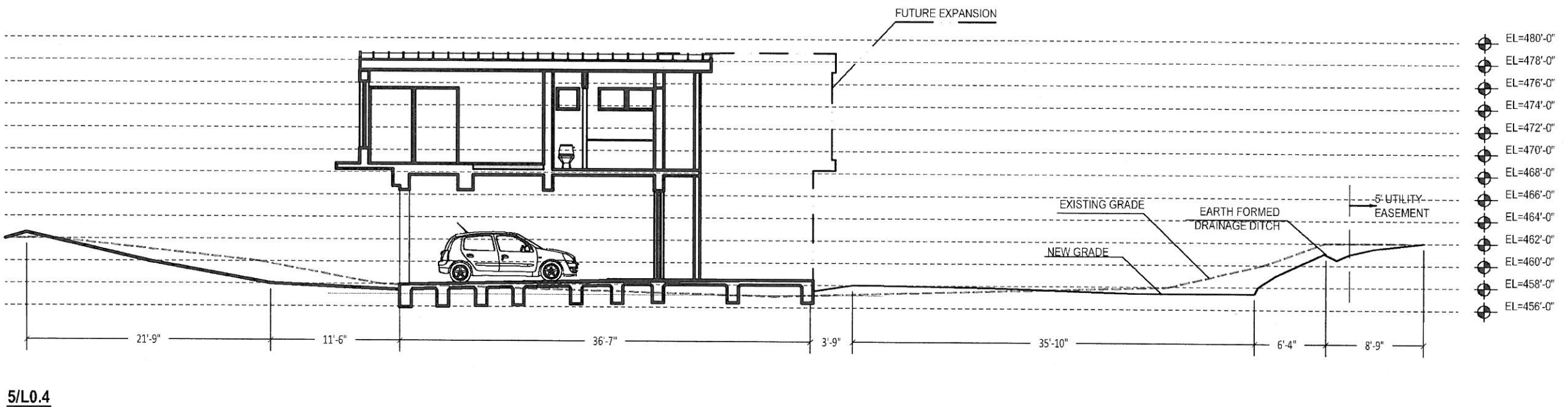
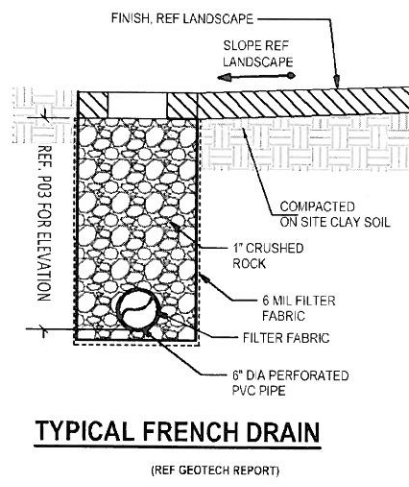
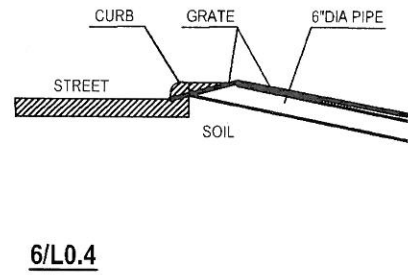
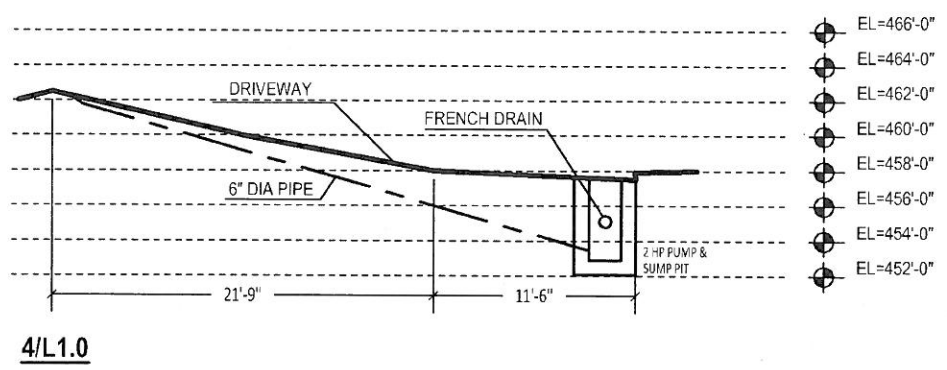
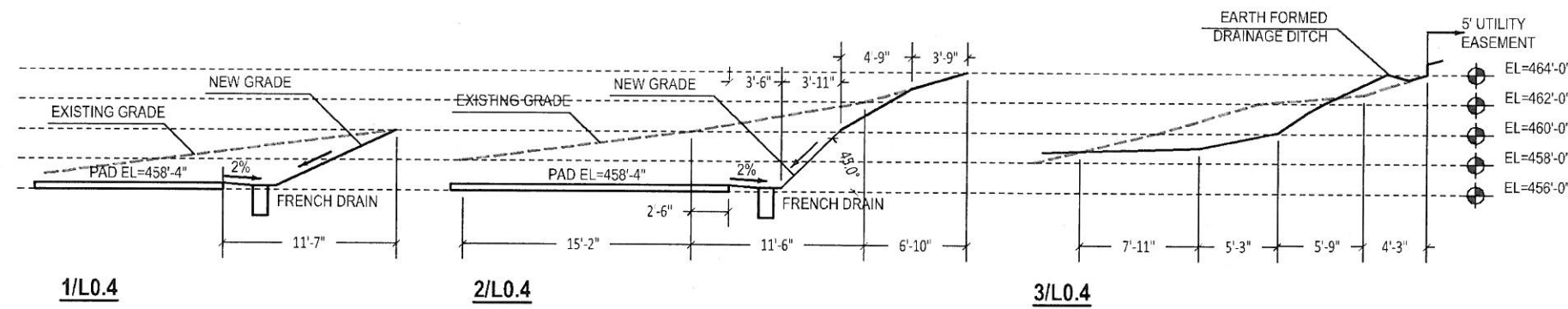
PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



BY	RO
DESCRIPTION	DATE
	06/10/2019
NO.	1
REVISIONS	
DRAWING TITLE:	

PROJECT NO.
ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP
APPROVED BY AP

DRAWING NO.
OF
L0.5



DETAILS
SCALE 3/32"=1'-0"

HARBORVIEW DRIVE

75'-5"

20' BL &
UTILITY EASEMENT

25'
FRONT SETBACK

28'-7"

STONE WALL

EXISTING STONE
RETAINING WALL

LATERAL SETBACK

EAVES LINE

LINE OF WALL

GUTTER

DRAIN AND DOWNSPOUT

HOUSE

MAX ROOF
EL=479'-0"

6" DIA ROOF
DRAIN

CONCRETE
DRIVEWAY

29'-10"

5' UTILITY
EASEMENT

10'
BACK SETBACK

53'-1"

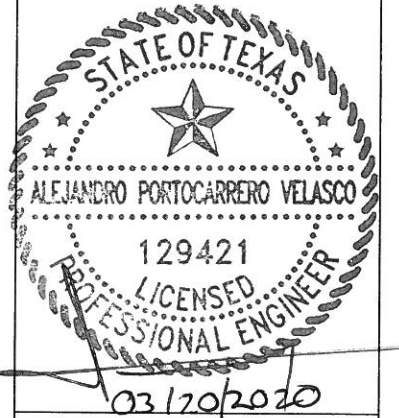
LATERAL SETBACK

EXISTING FENCING

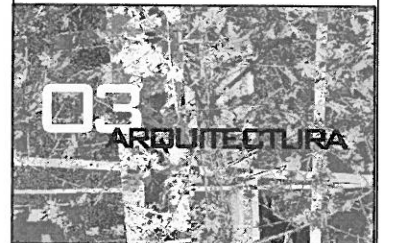
124'-9"


SITE PLAN
SCALE $\frac{3}{32}" = 1'-0"$

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY	RO
1	08/10/2019	REVISIONS		
DRAWING TITLE:				

PROJECT NO.

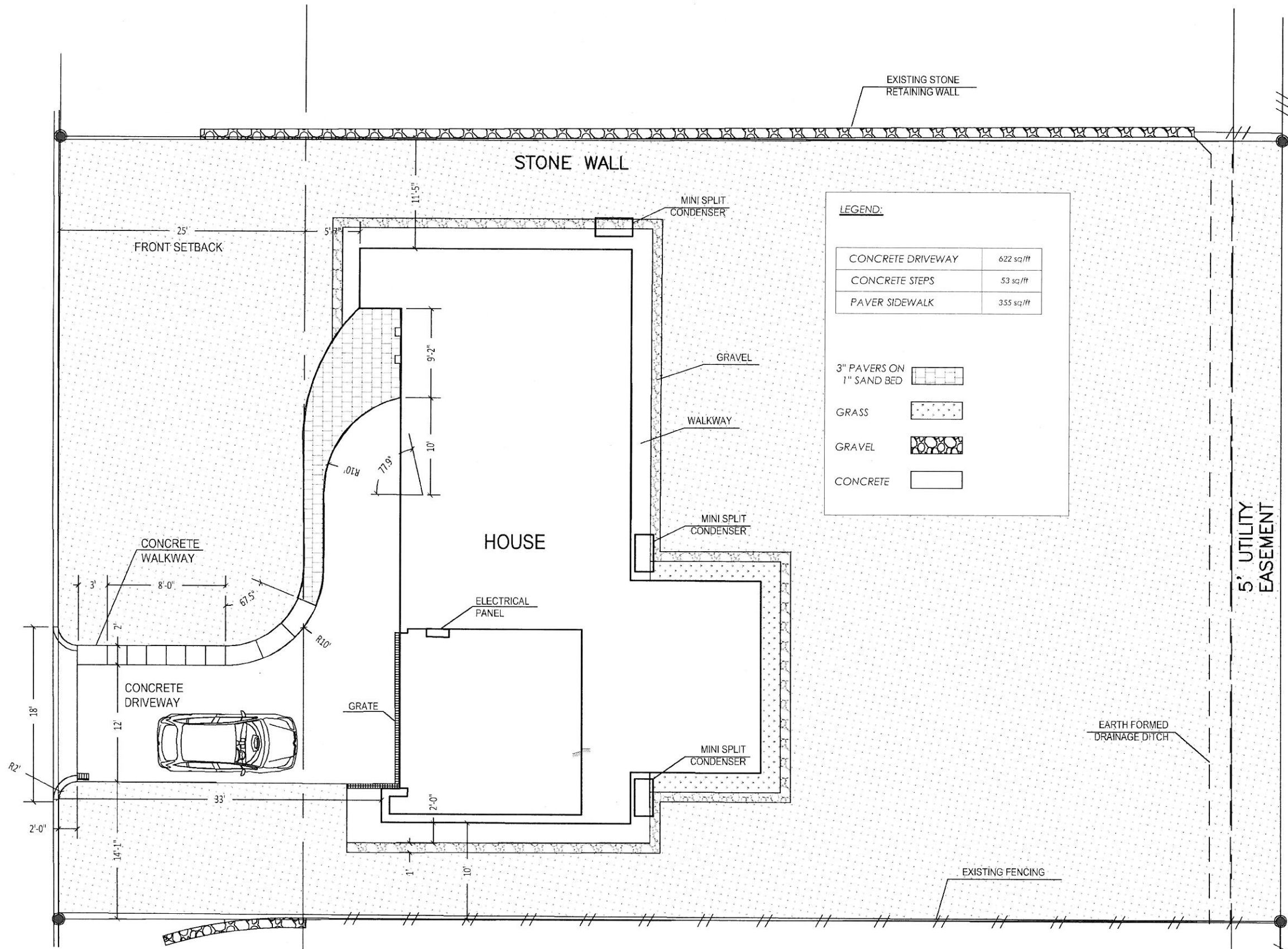
ISSUE DATE
12/14/2019
DRAWN BY RO /CHECKED BY AP

APPROVED BY AP

DRAWING NO.
OF

L0.1

HARBORVIEW DRIVE

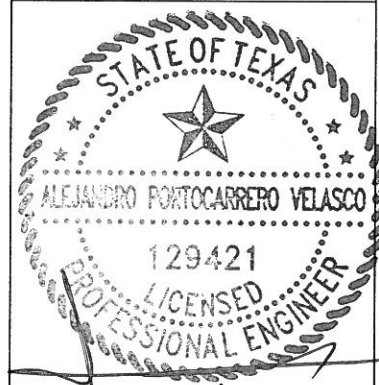


LEGEND:

CONCRETE DRIVEWAY	622 sq/ft
CONCRETE STEPS	53 sq/ft
PAVER SIDEWALK	355 sq/ft

3" PAVERS ON 1" SAND BED	
GRASS	
GRAVEL	
CONCRETE	

ISSUED FOR CONSTRUCTION



03/20/20

PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY
1	06/10/2019	REVISIONS	RO
DRAWING TITLE:			

PROJECT NO.

ISSUE DATE
12/14/2019

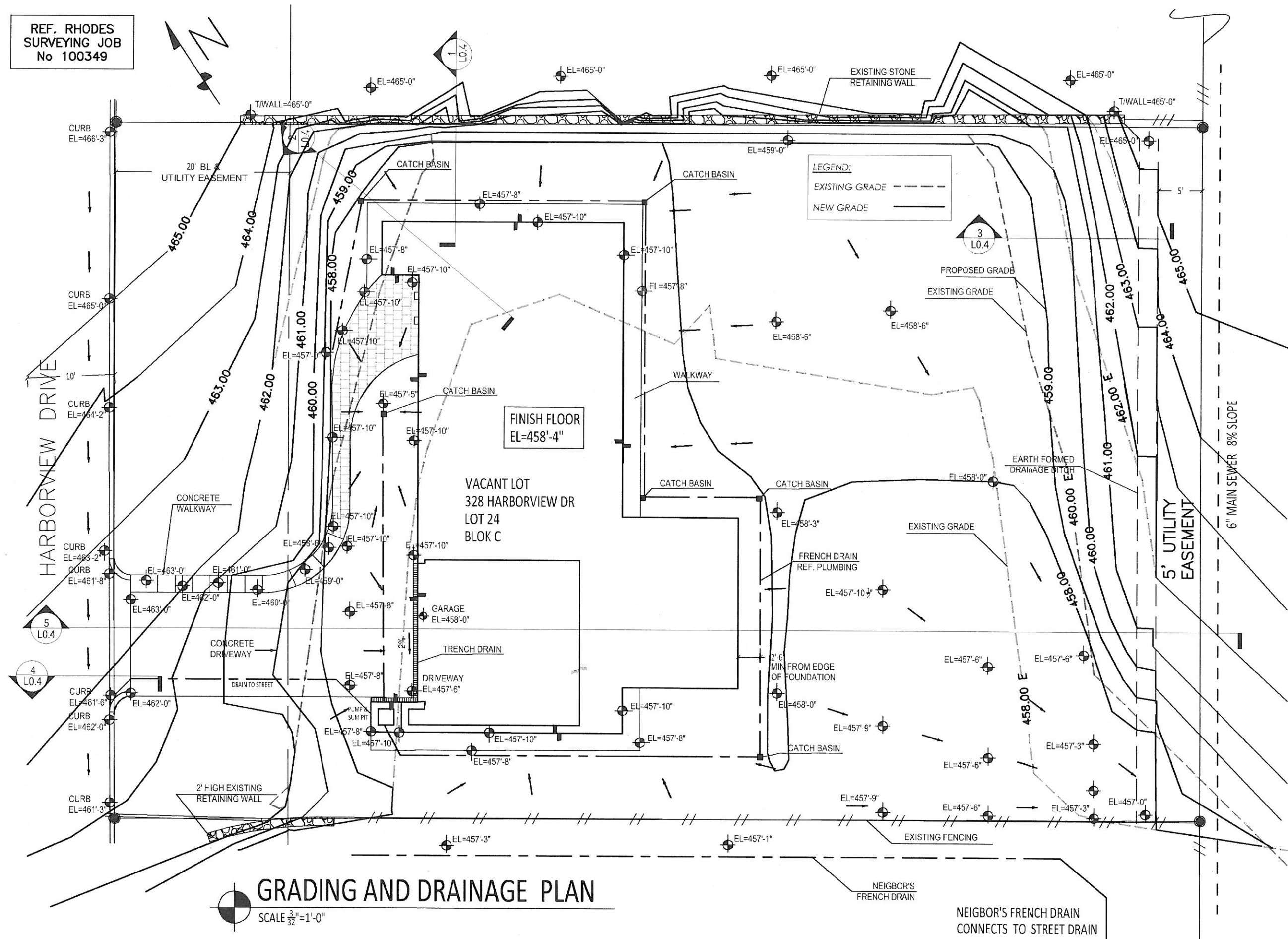
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APPROVED BY AP

DRAWING NO.
OF

L0.2

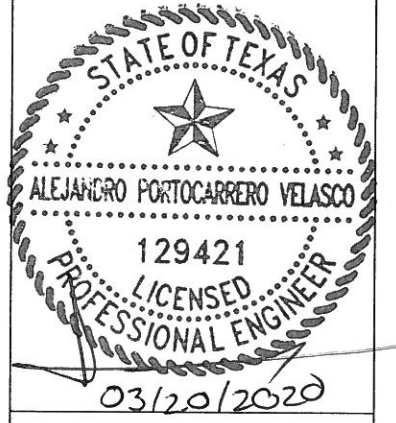
REF. RHODES
SURVEYING JOB
No 100349



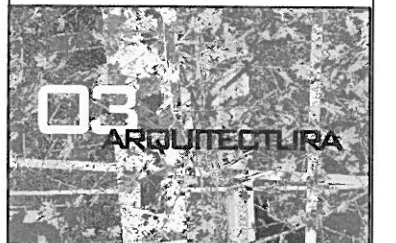
GRADING AND DRAINAGE PLAN

SCALE 3/32"=1'-0"

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



BY		RO	
DESCRIPTION		DATE	
NO.		1	
DATE		06/10/2019	
REVISIONS		DRAWING TITLE:	
PROJECT NO.		ISSUE DATE	
12/14/2019		DRAWN BY RO /CHECKED BY AP	
APPROVED BY AP		DRAWING NO.	
OF		L0.3	

STATE OF TEXAS

ALEJANDRO PORTOCARRERO VELASCO

129421

PROFESSIONAL ENGINEER

03/20/2020

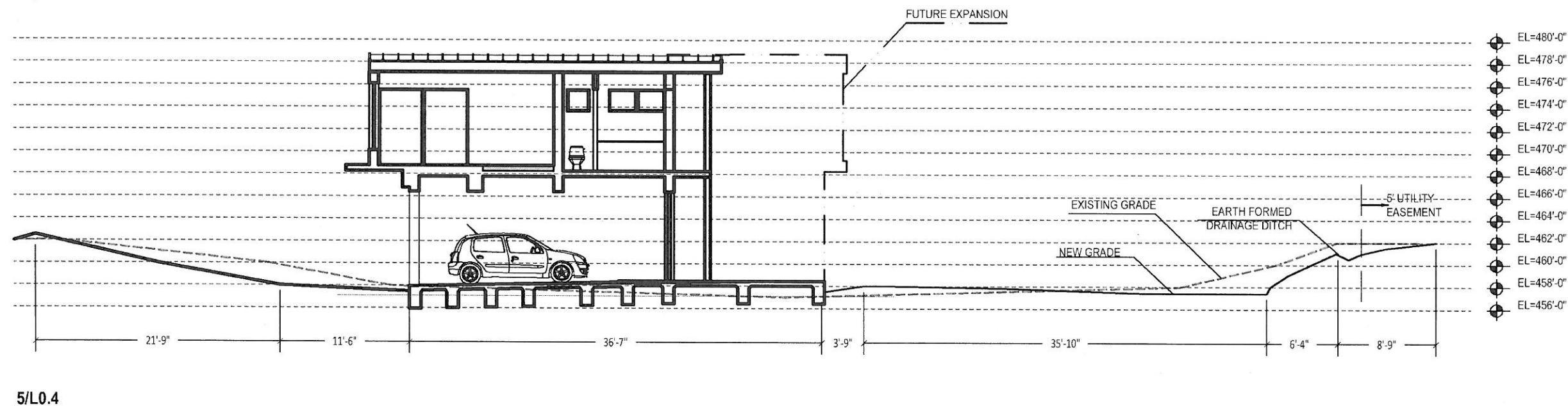
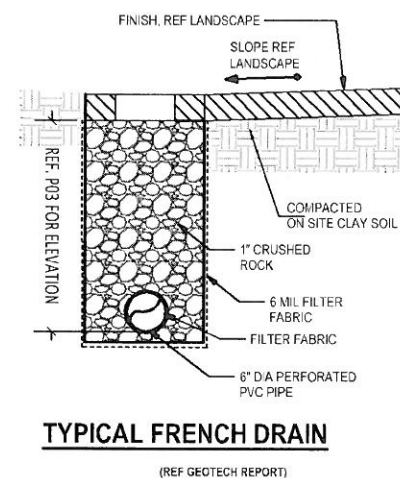


03
ARQUITECTURA

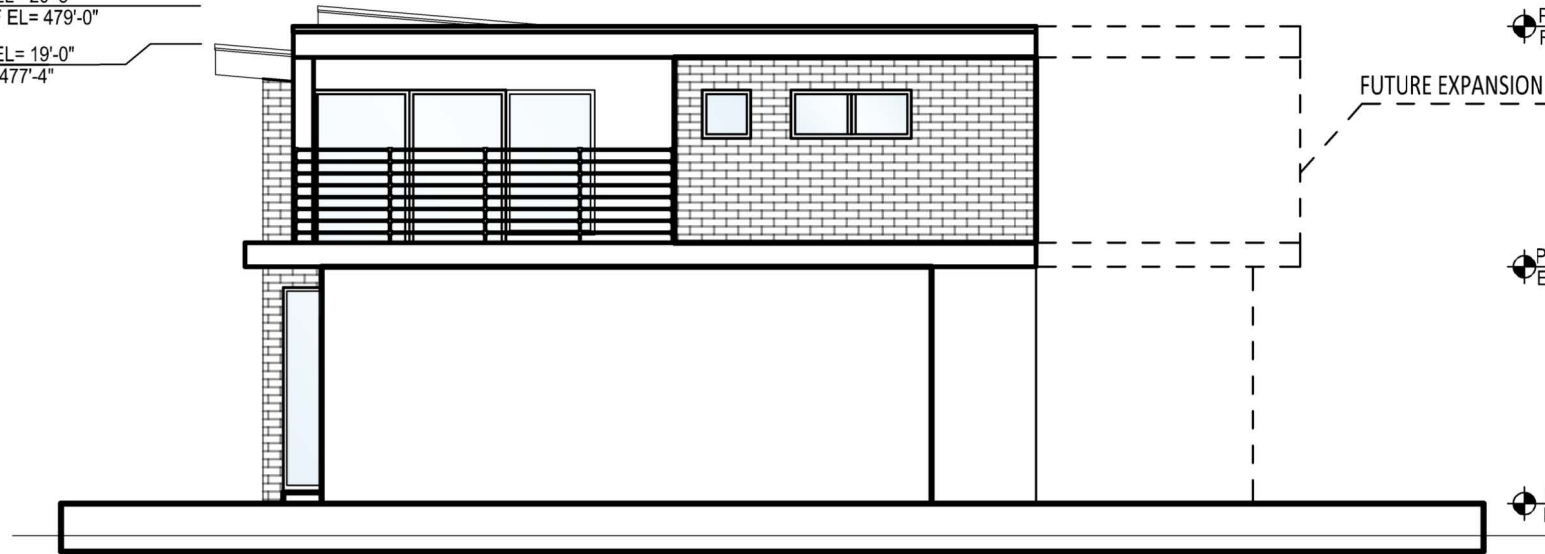
NO.	DATE	DESCRIPTION	BY
1	06/10/2019		RO
REVISIONS			
DRAWING TITLE:			

DRAWING NO.
OF

L0.5



PROJECT EL= 20'-8"
MAX ROOF EL= 479'-0"
PROJECT EL= 19'-0"
ROOF EL= 477'-4"

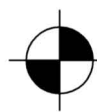


PROJECT EL= 19'-10"
ROOF EL= 478'-2"

PROJECT EL= 9'-10"
EL= 468'-2"

PROJECT EL= 0'-0"
EL= 458'-4"

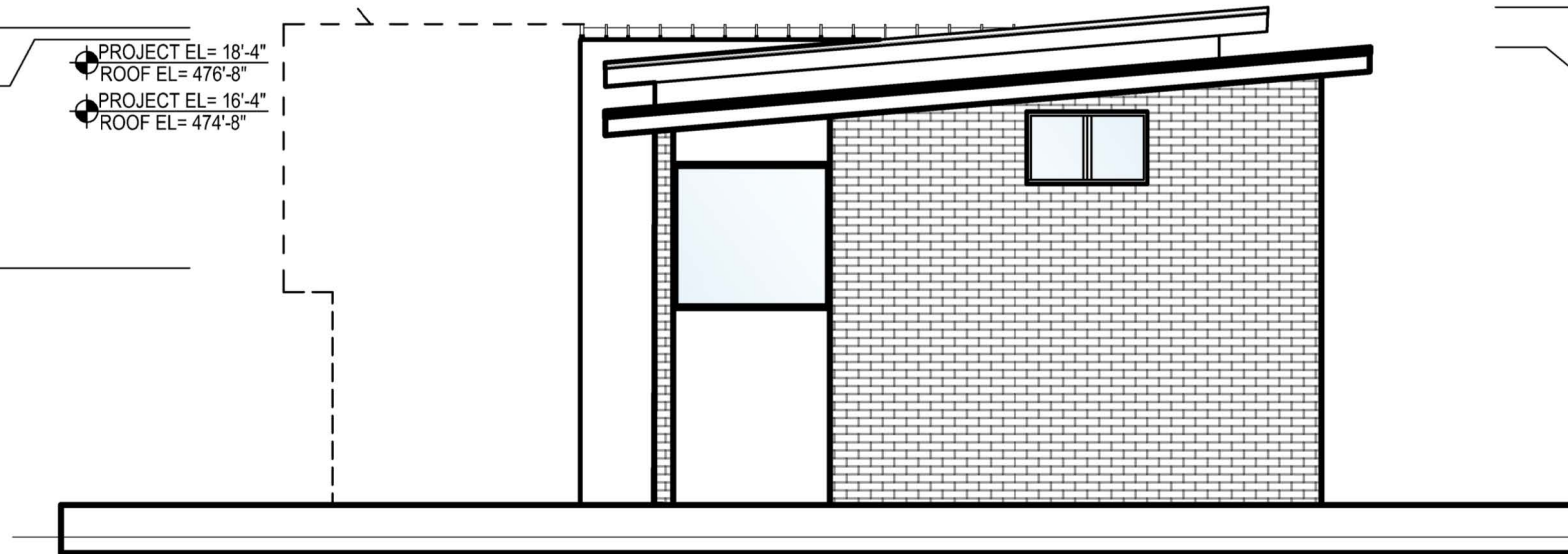
PAD ELEVATION
GRADE EL= 457'-0"



ELEVATION 1/A.05

SCALE $\frac{1}{8}$ "=1'-0"

FUTURE EXPANSION
PROJECT EL= 19'-10"
ROOF EL= 478'-2"
PROJECT EL= 19'-4"
ROOF EL= 477'-8"
PROJECT EL= 18'-4"
ROOF EL= 476'-8"
PROJECT EL= 16'-4"
ROOF EL= 474'-8"
PROJECT EL= 9'-10"
EL= 468'-2"

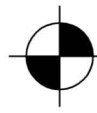


PROJECT EL= 20'-8"
MAX ROOF EL= 479'-0"

PROJECT EL= 19'-0"
ROOF EL= 477'-4"

PROJECT EL= 0'-0"
EL= 458'-4"

PAD ELEVATION
GRADE EL= 457'-0"

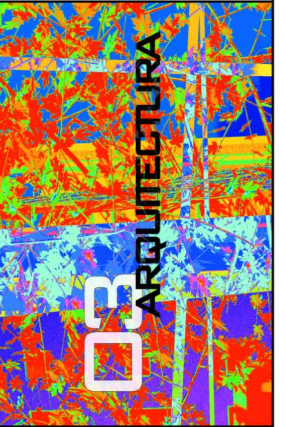


ELEVATION 2/A.05

SCALE $\frac{1}{8}$ "=1'-0"

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		
DRAWING TITLE:				

PROJECT NO.

ISSUE DATE

12/14/2019

DRAWN BY /CHECKED BY

APPROVED BY

DRAWING NO.
OF

A0.5

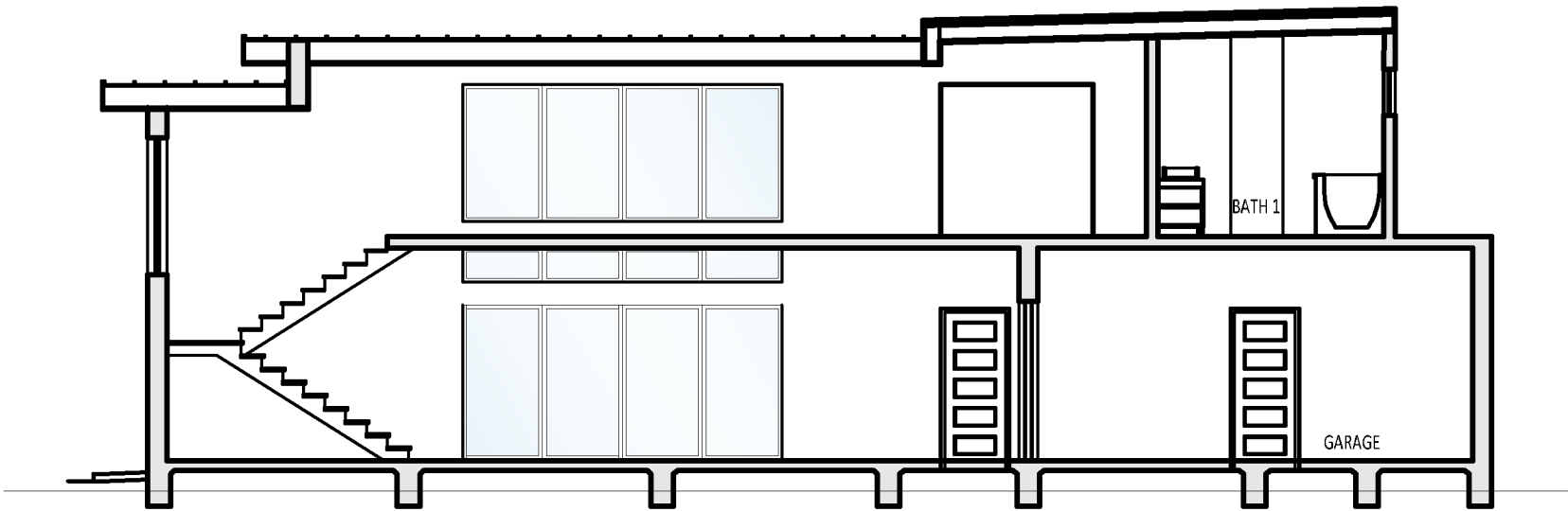
ISSUED FOR CONSTRUCTION
BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



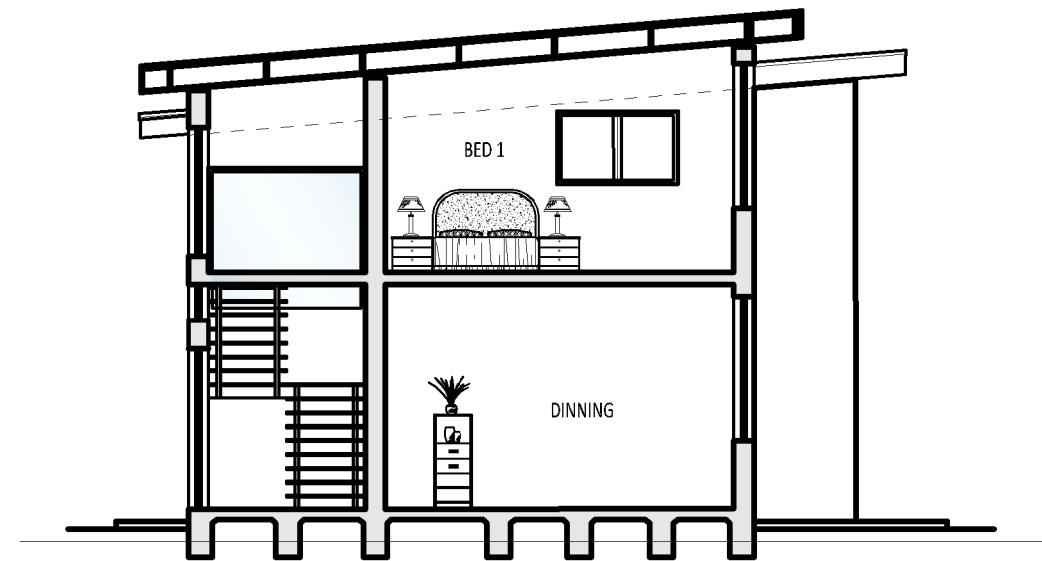
PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY	RO	REVISIONS	DRAWING TITLE:
1	06/10/2019					
PROJECT NO.						
ISSUE DATE						
12/14/2019						
DRAWN BY /CHECKED BY						
APPROVED BY						

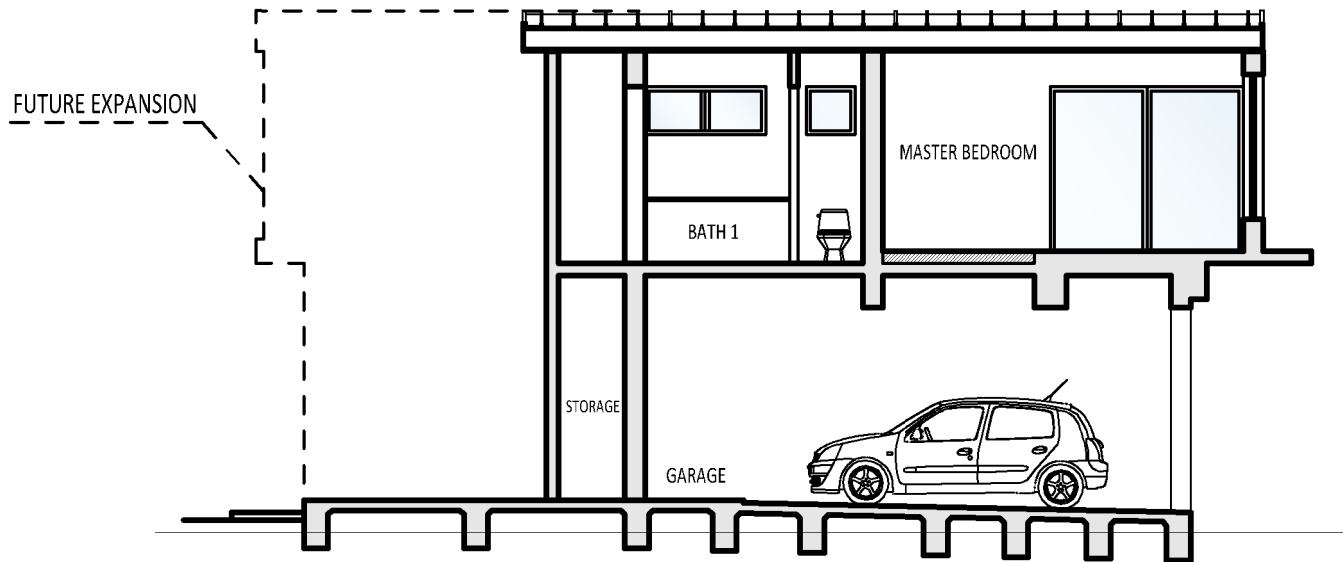
DRAWING NO.
OF
A0.6



SECTION 1/A.06
SCALE $\frac{1}{8}$ "=1'-0"

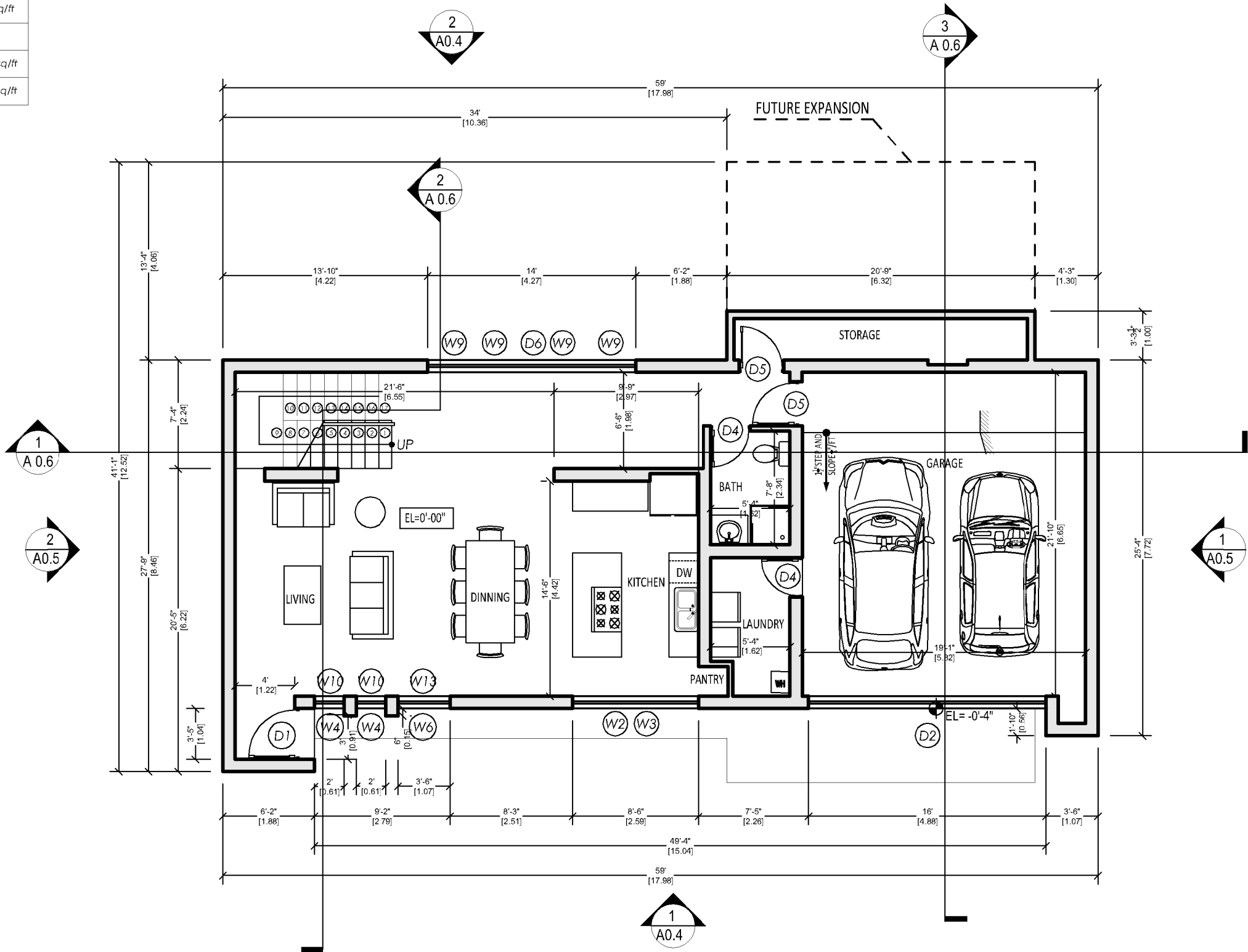


SECTION 2/A.06
SCALE $\frac{1}{8}$ "=1'-0"



SECTION 3/A.06
SCALE $\frac{1}{8}$ "=1'-0"

LIVING AREA 1ST FLOOR	871 sq/ft
LIVING AREA 2nd FLOOR	1144 sq/ft
TOTAL LIVING AREA	2015 sq/ft
PORCHE	0 sq/ft
GARAGE	434 sq/ft
BALCONY	121 sq/ft
TOTAL U/R (under roof)	2570 sq/ft
FOUNDATION/SLAB	1692 sq/ft



LEVEL 1

SCALE $\frac{1}{8}"=1'-0"$

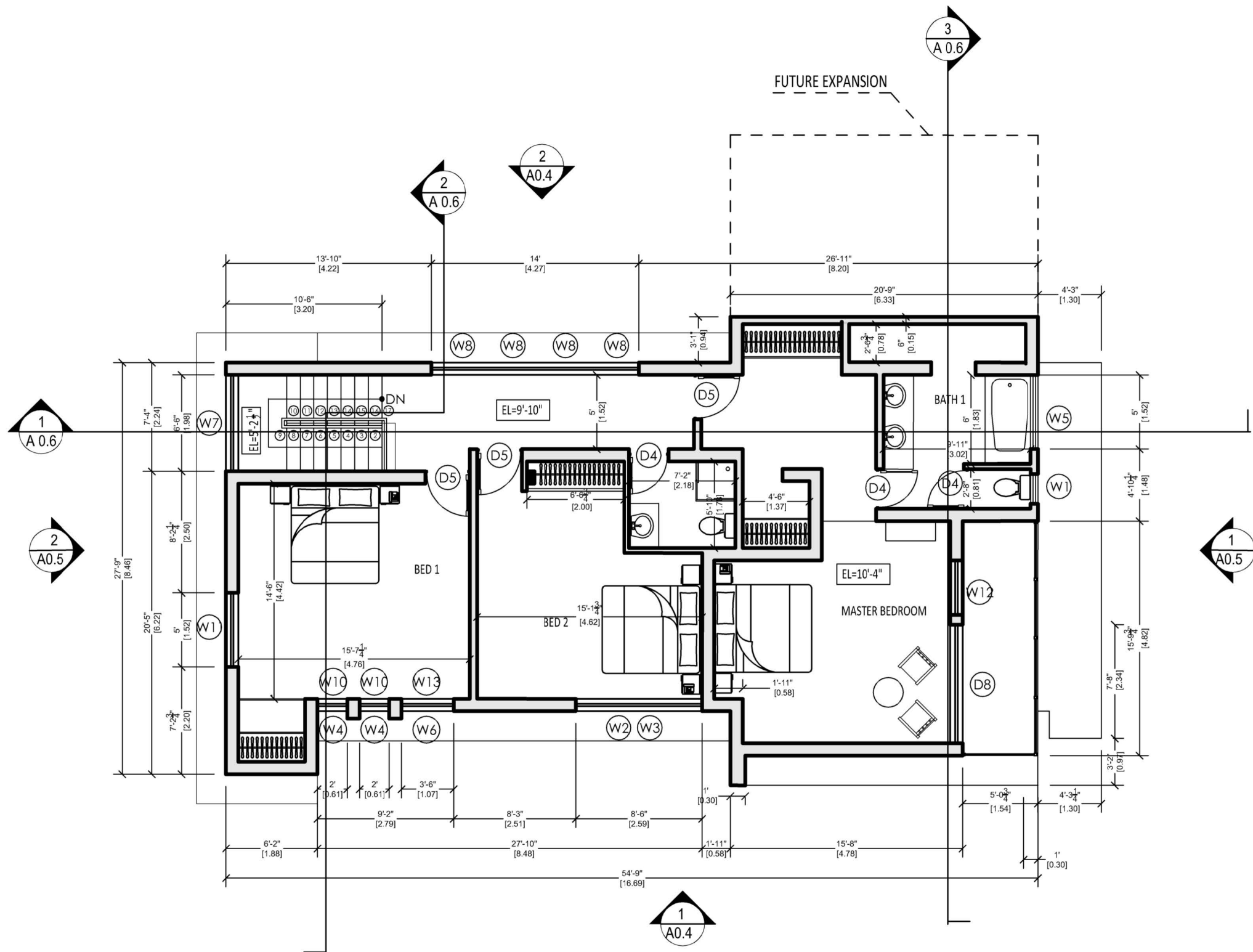
ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY
1	06/10/2019	REVISIONS	RO
DRAWING TITLE:			
PROJECT NO.			
ISSUE DATE			
12/14/2019			
DRAWN BY /CHECKED BY			
APPROVED BY			
DRAWING NO. OF			
A0.1			



ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



PROJECT:
328 HARBOR VIEW DR
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PROJECT NO.

ISSUE DATE

12/14/2019

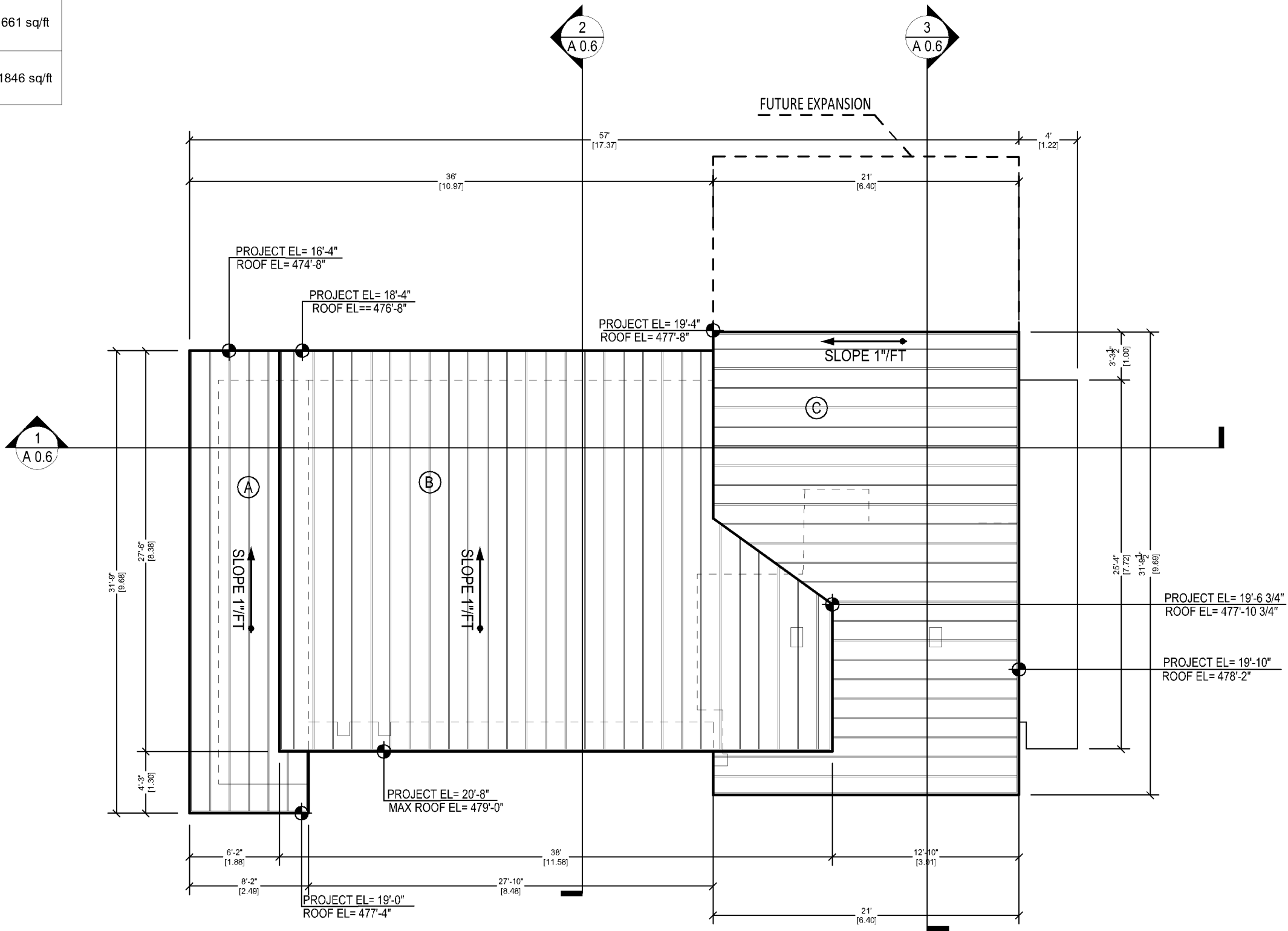
DRAWN BY /CHECKED BY

APPROVED BY

DRAWING NO.
OF

A0.2

ROOF A: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	266 sq/ft
ROOF B: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	919 sq/ft
ROOF C: 16" WIDE MECHANICALLY SEAMED PANELS: BLACK	661 sq/ft
TOTAL ROOF	1846 sq/ft




ROOF
 SCALE $\frac{1}{8}"=1'-0"$

ISSUED FOR CONSTRUCTION

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5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



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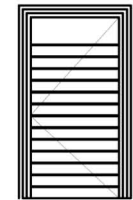
PROJECT NO.
ISSUE DATE 12/14/2019
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DRAWING NO.
OF

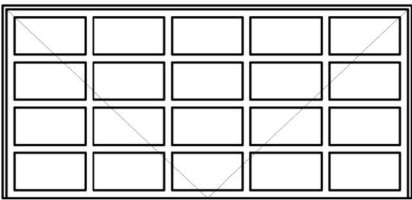
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DOORS

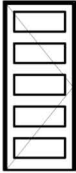
TYPE MARK	WIDTH	HIGH	QUANTITY	MATERIAL	DESCRIPTION	OBSERVATIONS
D1	3'-0"	8'-0"	1	WOOD DOOR	EXTERIOR GLASS DOOR	
D2	16'-0"	8'-0"	1	ALUMINUM DOOR	GARAGE DOOR	
D3	-	-	0	ALUMINUM DOOR	2 PANEL SLIDNG DOOR	
D4	2'-8"	7'-0"	5	WOOD DOOR	INTERIOR DOOR	
D5	3'-0"	7'-0"	5	WOOD DOOR	INTERIOR DOOR	
D6	14'-0"	6'-10"	1	ALUMINUM DOOR	4 PANEL SLIDNG DOOR	
D7	-	-	0	WOOD DOOR	INTERIOR SLIDING DOOR	
D8	8'-0"	6'-10"	1	ALUMINUM DOOR	2 PANEL SLIDNG DOOR	



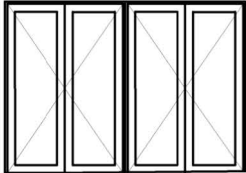
D1



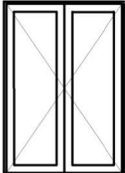
D2



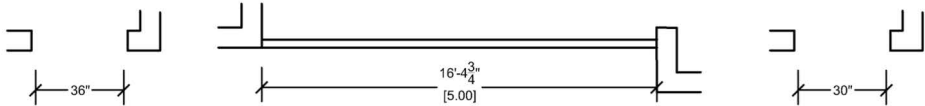
D4 D5



D6



D8

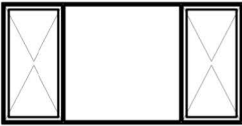


WINDOWS

TYPE MARK	WIDTH	HIGH	QUANTITY	MATERIAL	DESCRIPTION	OBSERVATIONS
W1	2'-0"	2'-0"	1	ALUMINIUM WINDOW	HORIZONTAL SLIDER	
W2	8'-6"	5'-0"	2	ALUMINIUM WINDOW	DOUBLE HORIZONTAL SLIDER	
W3	8'-6"	3'-8"	2	ALUMINIUM WINDOW	PICTURE	
W4	2'-0"	3'-8"	4	ALUMINIUM WINDOW	PICTURE	
W5	5'-0"	2'-0"	1	ALUMINIUM WINDOW	HORIZONTAL SLIDER	
W6	3'-6"	3'-8"	2	ALUMINIUM WINDOW	PICTURE	
W7	6'-6"	6'-0"	1	ALUMINIUM WINDOW	PICTURE	
W8	3'-6"	6'-0"	4	ALUMINIUM WINDOW	PICTURE	
W9	3'-6"	1'-6"	4	ALUMINIUM WINDOW	PICTURE	
W10	2'-0"	5'-0"	4	ALUMINIUM WINDOW	PICTURE	
W11	5'-0"	3'-0"	1	ALUMINIUM WINDOW	HORIZONTAL SLIDER	
W12	3'-8"	6'-0"	1	ALUMINIUM WINDOW	PICTURE	
W13	3'-6"	5'-0"	1	ALUMINIUM WINDOW	PICTURE	



W1



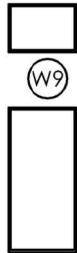
W2



W5



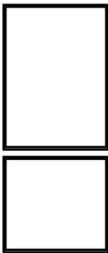
W7



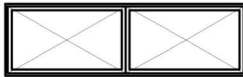
W8



W4



W8



W1



W12



W13

SQUARE FOOTAGE

LEVEL 1 SQUARE FOOTAGE	SQF	LEVEL 2 SQUARE FOOTAGE	SQF
LIVING/DINNING/KITCHEN	480	MASTER BEDROOM	342
LAUNDRY	49	MASTER BATHROOM	121
BATHROOM	41	BEDROOM 1	248
HALLWAY	243	BEDROOM 2	212
STORAGE	58	BATHROOM 2	44
		STAIR	65
		HALLWAY	112
Total Area Level 1= 871 SQF		Total Area Level 2= 1144 SQF	

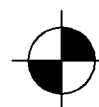
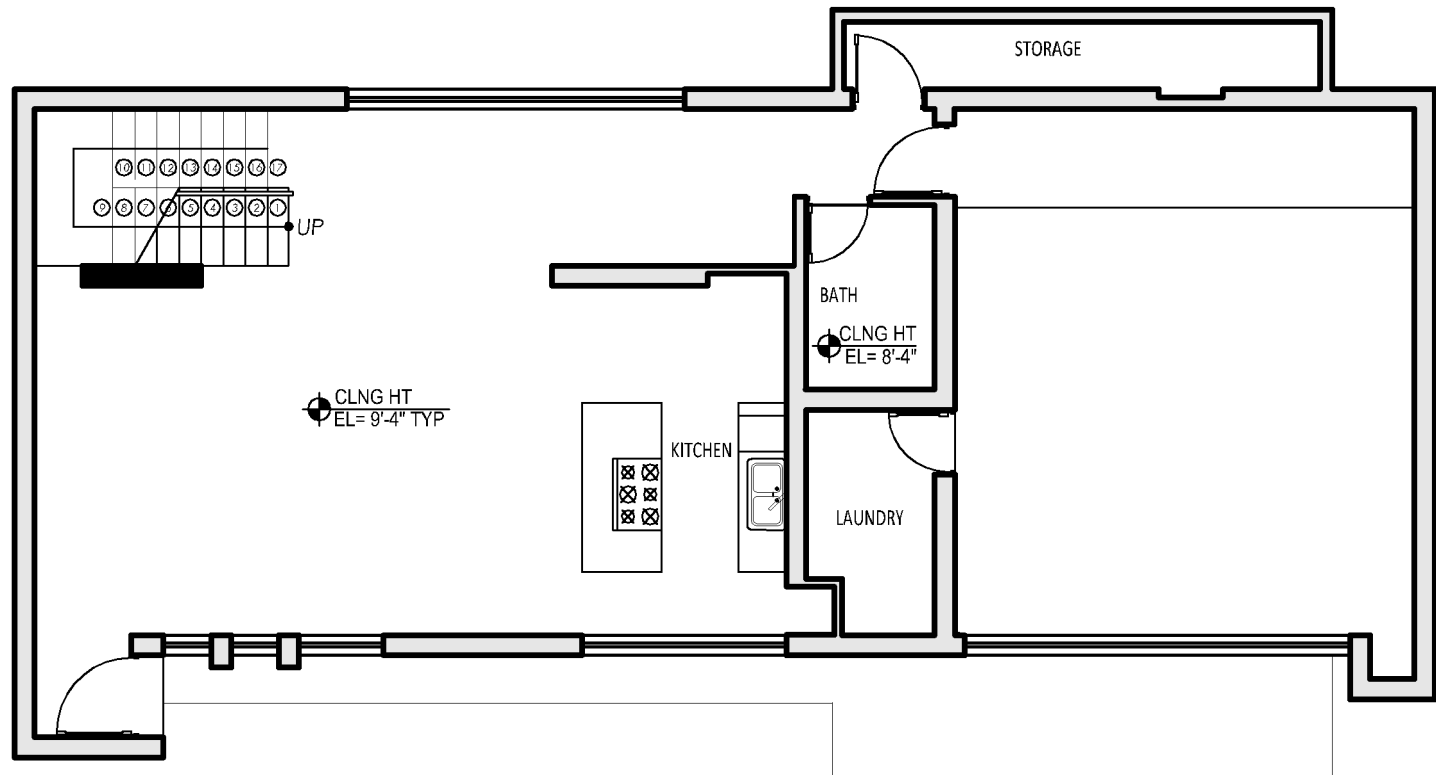
ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd, Suite F2
Magnolia Texas 77354



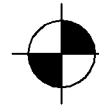
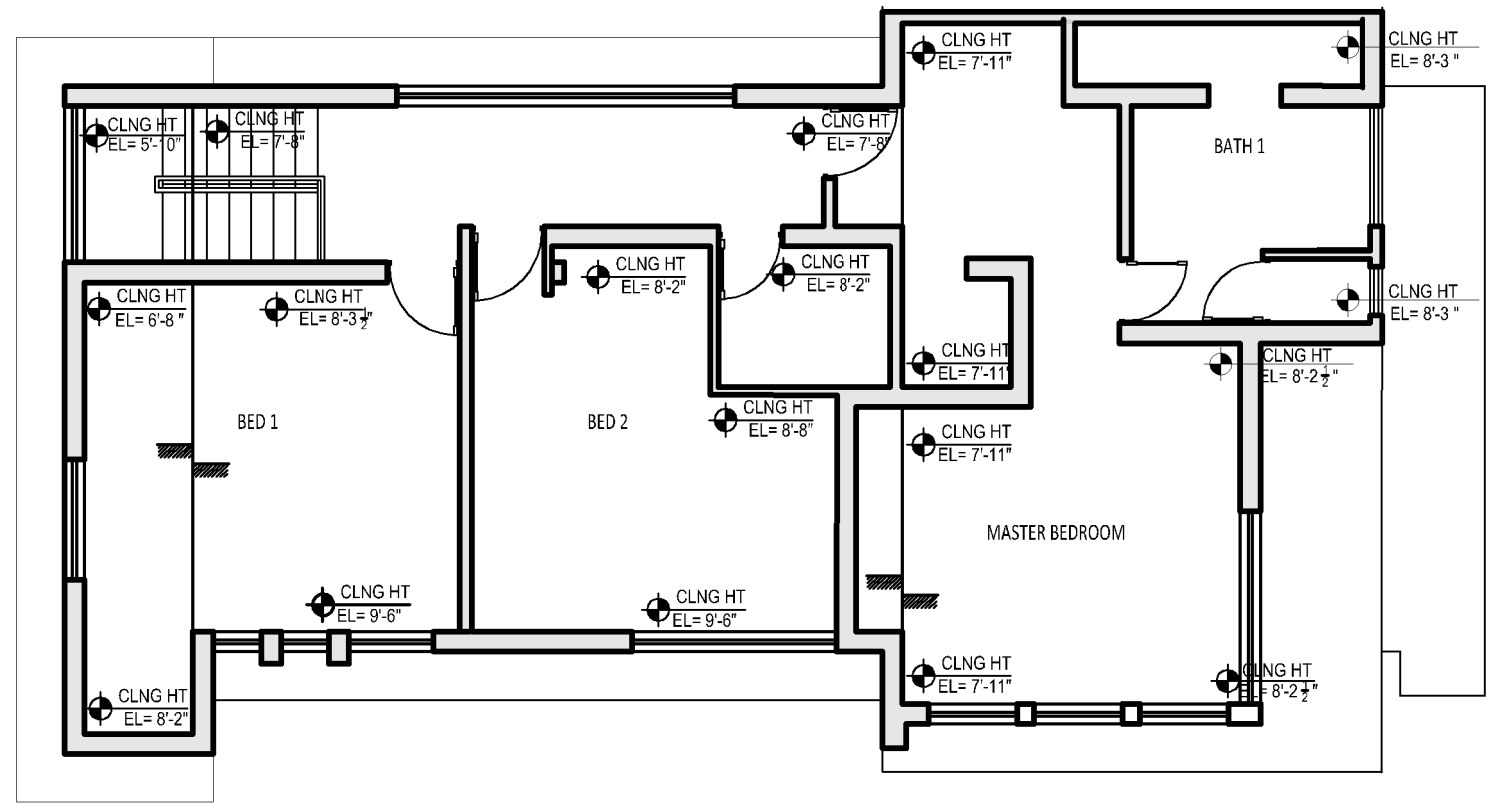
PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY
1	06/10/2019		RO
		REVISIONS	
		DRAWING TITLE:	
PROJECT NO.			
ISSUE DATE 12/14/2019			
DRAWN BY /CHECKED BY			
APROVED BY			
DRAWING NO. OF			
A0.7			



REFLECTED CEILING LEVEL 1

SCALE $\frac{1}{8}"=1'-0"$



REFLECTED CEILING LEVEL 2

SCALE $\frac{1}{8}"=1'-0"$

ISSUED FOR CONSTRUCTION

BUILDER:
Owner Built Custom Homes Inc.
5327 FM 1488 Rd. Suite F2
Magnolia, Texas 77354



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

NO.	DATE	DESCRIPTION	BY
1	06/10/2019	REVISIONS	RO
DRAWING TITLE:			
PROJECT NO.			
ISSUE DATE			
12/14/2019			
DRAWN BY /CHECKED BY			
APPROVED BY			
DRAWING NO. OF			
A0.8			

HARBORVIEW DRIVE

75'-5"

20' BL &
UTILITY EASEMENT

25'
FRONT SETBACK

28'-7"

CONCRETE
DRIVEWAY

29'-10"

STONE WALL

SLOPE

SLOPE

HOUSE

6" DIA ROOF
DRAIN

MAX ROOF
EL=479'-0"

EAVES LINE

LINE OF WALL

GUTTER

DRAIN AND DOWNSPOUT

WALKWAY

LATERAL SETBACK

EXISTING STONE
RETAINING WALL

LATERAL SETBACK

10'
BACK SETBACK

5' UTILITY
EASEMENT

53'-1"

EXISTING FENCING

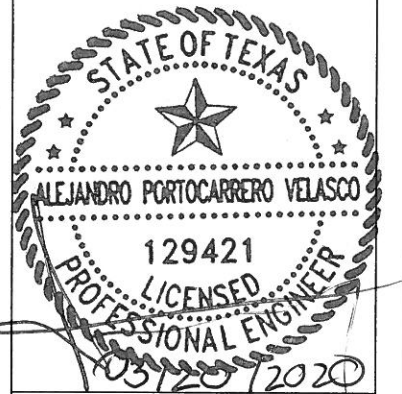
124'-9"



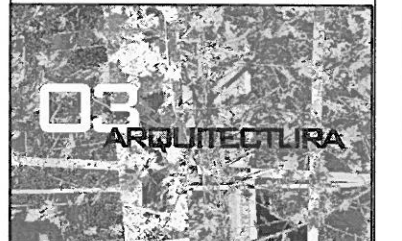
SITE PLAN

SCALE $\frac{3}{32}" = 1'-0"$

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



BY

RO

DESCRIPTION

DATE

NO.

1

06/10/2019

REVISIONS

DRAWING TITLE:

PROJECT NO.

ISSUE DATE

12/14/2019

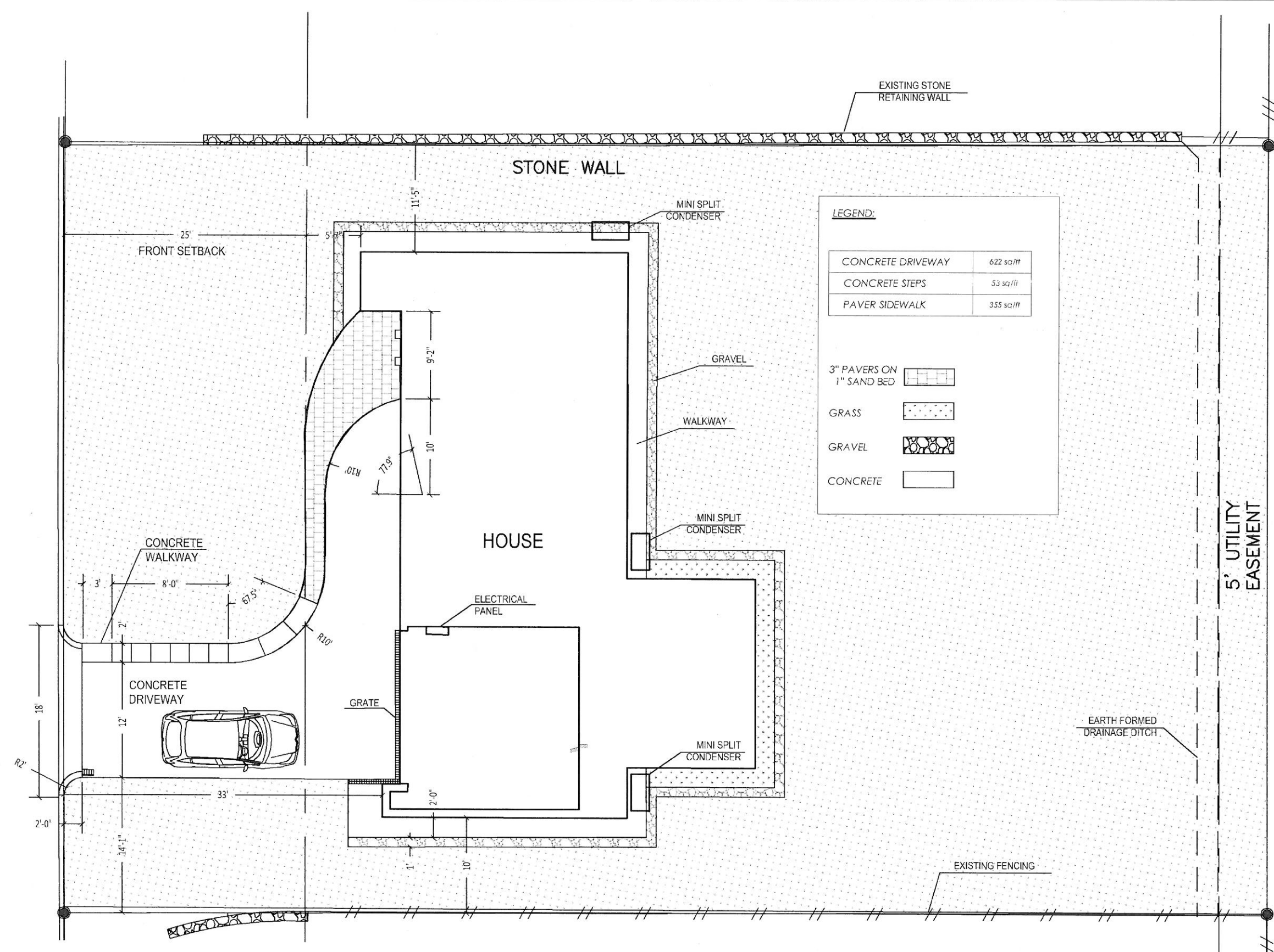
DRAWN BY RO /CHECKED BY AP

APPROVED BY AP

DRAWING NO.
OF

L0.1

HARBORVIEW DRIVE



LEGEND:

CONCRETE DRIVEWAY	622 sq/ft
CONCRETE STEPS	53 sq/ft
PAVER SIDEWALK	355 sq/ft

3" PAVERS ON 1" SAND BED

GRASS

GRAVEL

CONCRETE

ISSUED FOR CONSTRUCTION

STATE OF TEXAS
ALEJANDRO PORTOCARRERO VELASCO
129421
LICENSED PROFESSIONAL ENGINEER
03/20/2020

PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX

O3 ARQUITECTURA

BY	RO
DESCRIPTION	
DATE	06/10/2019
NO.	1
REVISIONS	
DRAWING TITLE:	
PROJECT NO.	
ISSUE DATE 12/14/2019	
DRAWN BY RO /CHECKED BY AP	
APPROVED BY AP	
DRAWING NO. OF	

L0.2

A circular professional engineer seal for the State of Texas. The outer ring contains the text "STATE OF TEXAS" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by small stars. In the center is a five-pointed star. Below the star, the name "ALEJANDRO PORTOCARRERO VELASCO" is printed. Below the name is the license number "129421" and the word "LICENSED".

PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



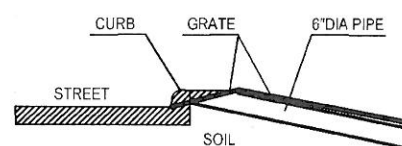
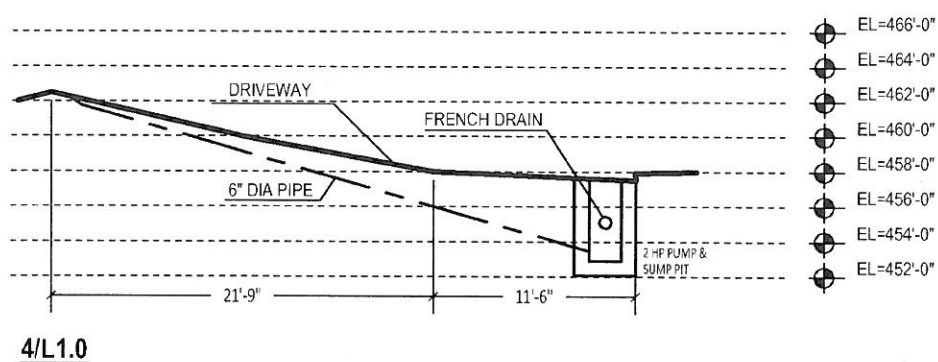
NO.	DATE	DESCRIPTION	BY
1	08/10/2019		RO

REVISIONS

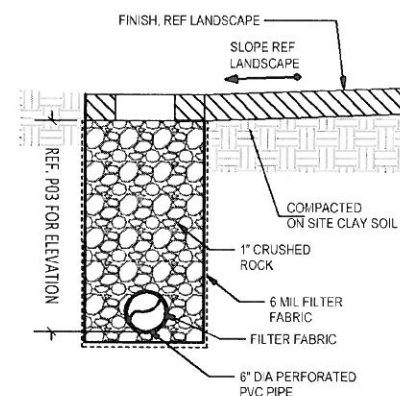
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DRAWING NO.
OF

L0.5

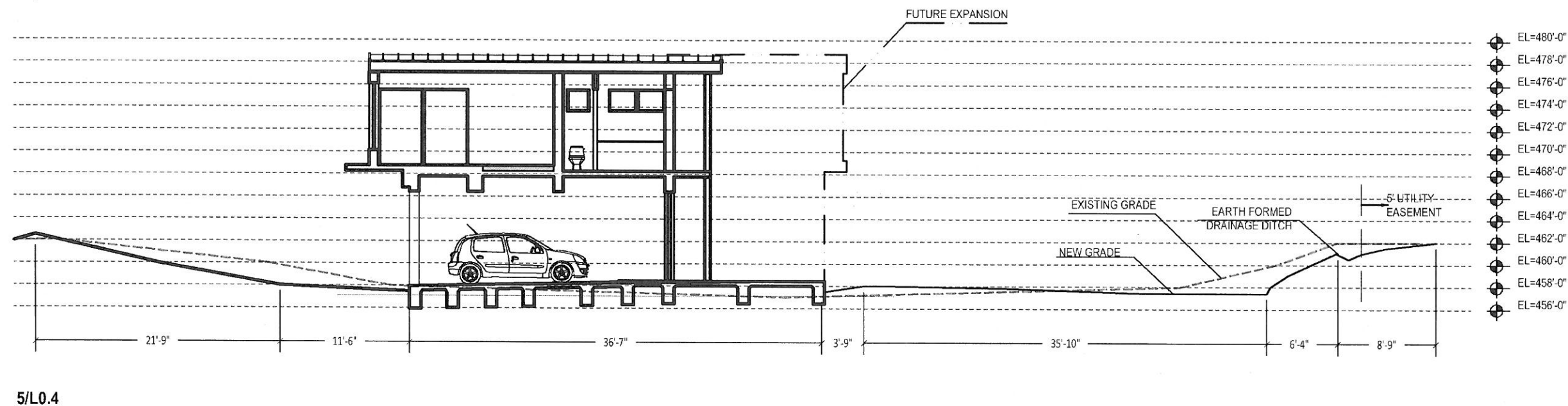


6/L0.4

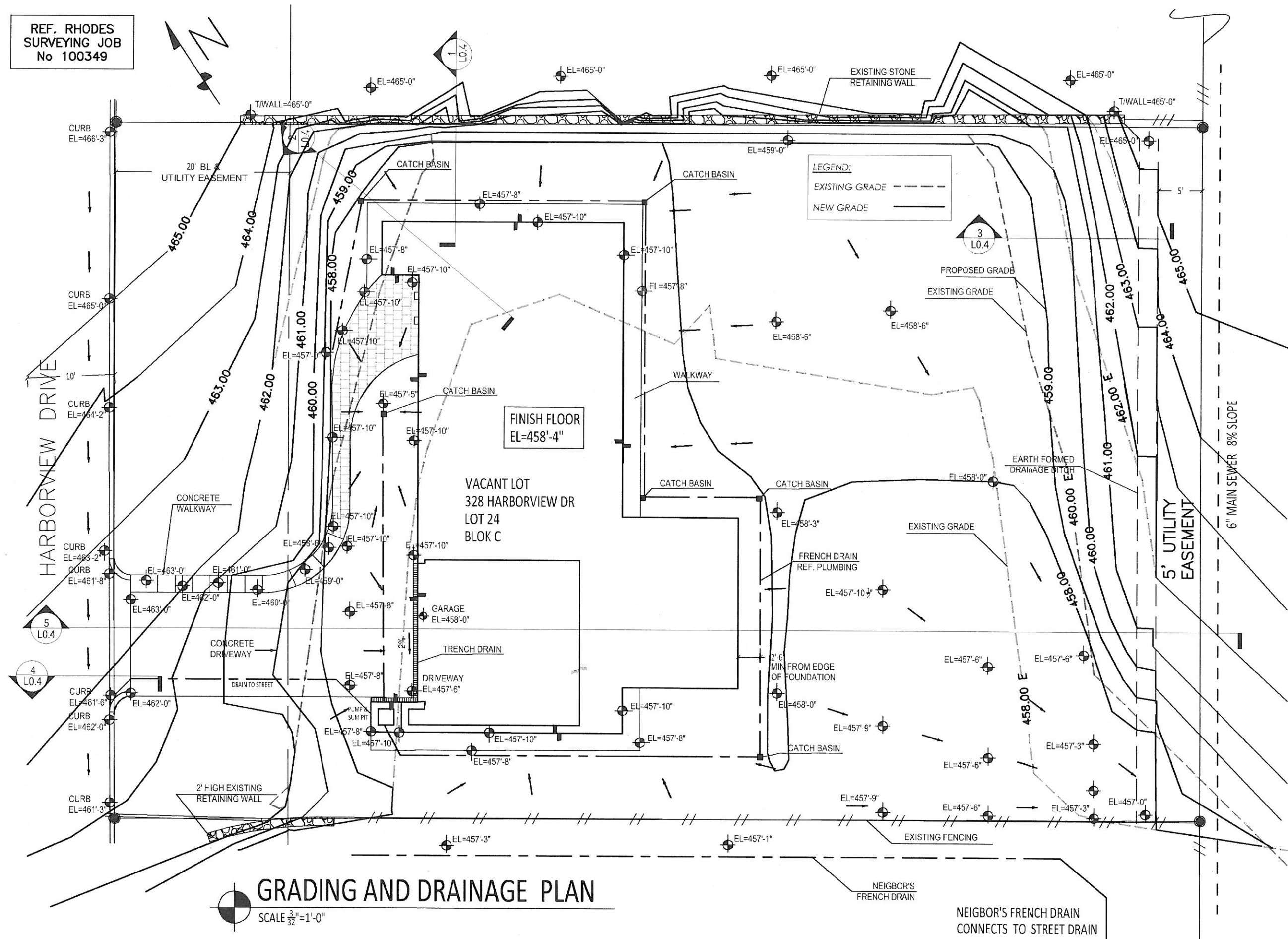


TYPICAL FRENCH DRAIN

(REF GEOTECH REPORT)



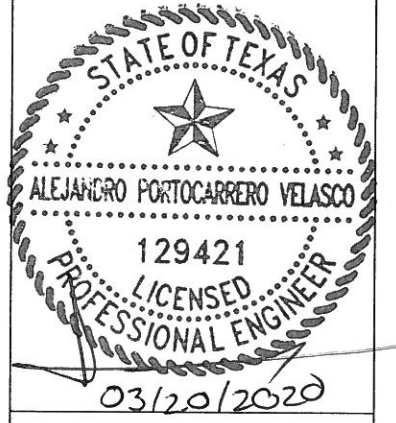
REF. RHODES
SURVEYING JOB
No 100349



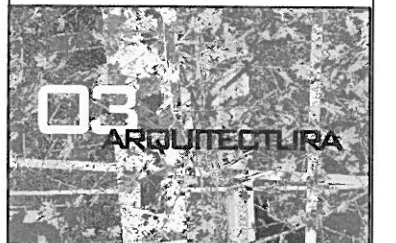
GRADING AND DRAINAGE PLAN

SCALE 3/32"=1'-0"

ISSUED FOR CONSTRUCTION



PROJECT:
328 HARBOR VIEW DR
HARBOR LANDING PHASE 2
ROCKWALL TX



NO.	DATE	DESCRIPTION	BY	RO
1	06/10/2019	REVISIONS		
DRAWING TITLE:				
PROJECT NO.				
ISSUE DATE 12/14/2019				
DRAWN BY RO /CHECKED BY AP				
APPROVED BY AP				
DRAWING NO. OF				
L0.3				

March 20th, 2020

City Of Rockwall
385 S Goliad
Rockwall TX, 75087

Reference: Drainage Hold Harmless Letter 328 Harborview Dr Rockwall, TX 75032

In response to the requirements of the City of Rockwall's Engineering department, I am submitting this letter as requested and as a requirement to obtain the City residential permit for my house located in the above address.

As a brief description of my property, the maximum pad elevation was set as 457 feet and the maximum roof elevation as 479 feet. The North-East and the South-East neighbor properties are approximately 6ft higher than Elevation 457'. The Harborview Dr Street located at the front of the property (North-West) is approximately 4ft higher than Elevation 457'. The South-West neighbor property (lot 23) is sharing the same pad elevation of 457'. Per the above brief explanation of my property topography I bring to your attention the following:

It is of my understanding that the pad elevation used to be higher and it was lowered for Chandlers Landing Phase 2.

It is of my understanding that my neighbor's property has a French drain around her house which drains rainfall water to the street's storm inlet located on Harborview Dr and said storm inlet is connected to "Line A" drainage storm pipe.

It is of my understanding that the neighbor in lot 23 has a wood fence supported by tubes and the tubes apparently fixed to a concrete curb.

It is of my understanding that the curve in between my lot and lot 23 currently is not allowing the water to flow from my property to lot 23 and therefore to the street's storm inlet located on Harborview Dr.

It is my understanding that per the Texas Water Code Sec. 11.086 (a) "No person may divert or impound the natural flow of surface water.


It is my understanding that per the City of Rockwall Standards of Design and Construction 1.10 Easements and Row, " No structure (buildings, walls, fences decks, swimming pools, signage/monuments, etc.) are allowed in or over any easement or right-of ways".

Due to all the exposed above and the topography of my lot, the drainage design intent for my house consist of a french drain around the house draining the water into a sum pit and a pump to pump the rainfall water out and into the Harborview dr street located in the front of my property.

Having explained my understanding of the situation, I as the owner, agree to hold harmless the City of Rockwall and I assume the flood risk in my property due to rainfall only due to pump malfunction, and/or under-design drainage component, pipe settlements and any other distress in the drainage system and, release the City of Rockwall from liability or responsibility for flooding and the damage caused inside the boundaries of my lot.

Sincerely,


Alejandro Portocarrero Velasco, P.E.
3/20/2020

 3/20/2020




315

315

98451628
NO



319



Psalm 91

320
WINTER ST.



PORTVIEW PLACE

Psalm 91

FIRE LANE NO PARKING



Celebrating
RHHS
Class of 2020
EVERGLADES
HAWKS

321

321





321
HARBORVIEW

321







325
HARBORVIEW







327
HARBORVIEW











Adjacent Housing Attributes

Address	Year Built	House SF	Exterior Materials
315 Harborview Drive	2015	3,433	Stone/Stucco/Wood
319 Harborview Drive	2010	3,415	Stone
320 Portview Place	2012	5,679	Brick
321 Harbor Landing Drive	1998	3,541	Brick/Stone
321 Harborview Drive	2012	4,780	Brick/Stone
323 Harbor Landing Drive	1994	4,184	Brick
325 Harbor Landing Drive	1994	3,367	Stucco
325 Harborview Drive	2018	4,747	Brick/Stone
326 Harborview Drive	2007	3,548	Siding/Brick
327 Harborview Drive	2018	3,860	Stone
330 Harborview Drive	2016	3,131	Brick/Stone
331 Harborview Drive	2015	4,095	Brick/Stone
333 Harborview Drive	2002	2,325	Siding/Brick
335 Harborview Drive	1995	3,334	Siding/Brick
337 Harborview Drive	2018	3,860	Stone
Average:	2008	3,819.93	

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.23-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 24, BLOCK C, HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Alejandro Portocarrero for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home on a 0.23-acre parcel of land being described as Lot 24, Block C, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) for single-family uses, addressed as 328 Harborview Drive, and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow the construction of a single-family home in an established subdivision in accordance with *Subsection 02.03(B)(11), Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 20-02]; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property*, and conformance to these operational conditions is required:

- 1) Development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) Construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance; and,
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require the *Subject Property* to comply with the following:

- 1) Upon obtaining or maintaining a Building Permit and should any contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage;

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 18TH DAY OF MAY, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 4, 2020

2nd Reading: May 18, 2020

Exhibit 'A':
Legal Description

Location: 328 Harborview Drive

Legal Description: Lot 24, Block C, Harbor Landing, Phase 2 Addition



Exhibit 'B':
Residential Plot Plan

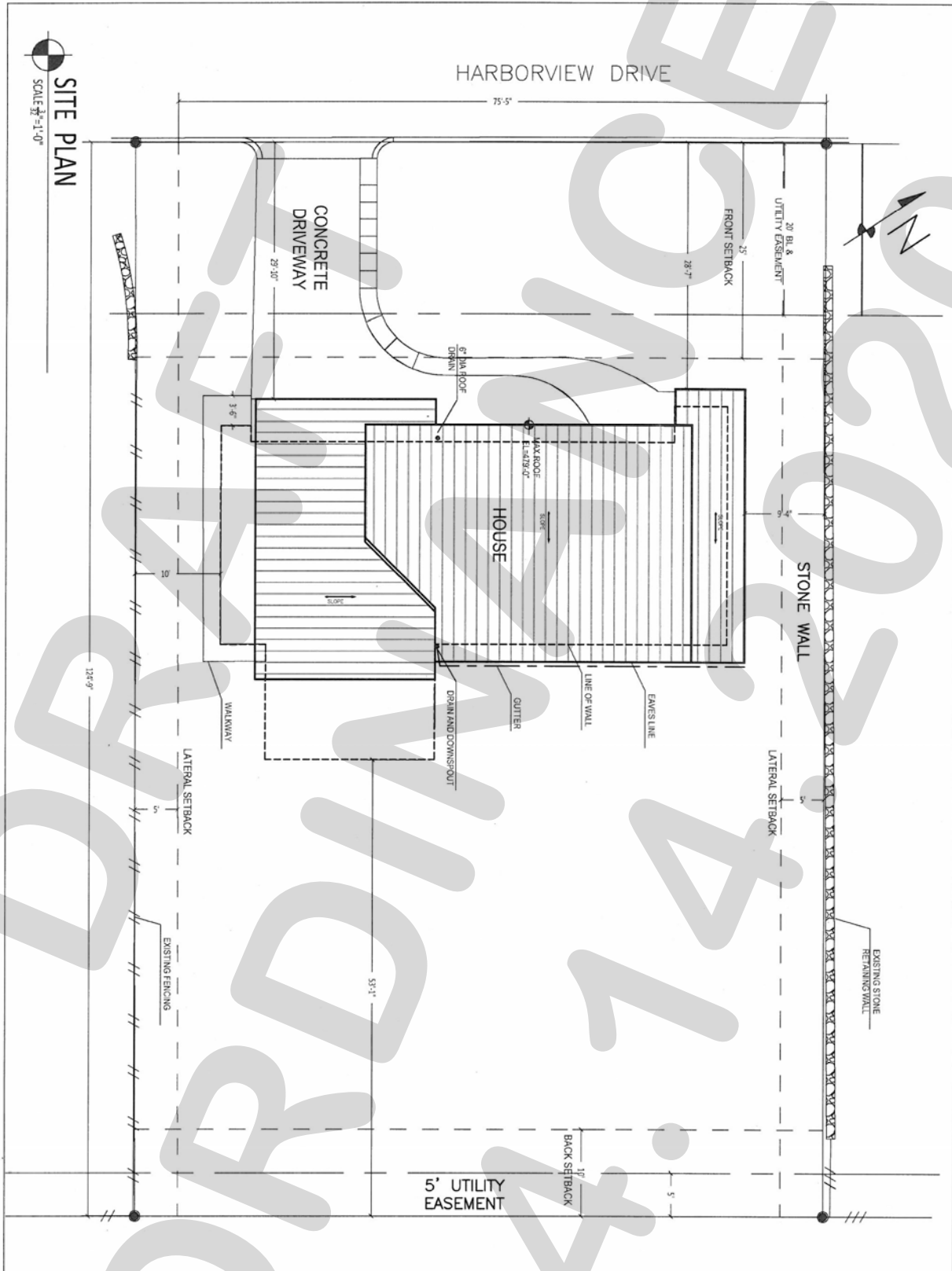
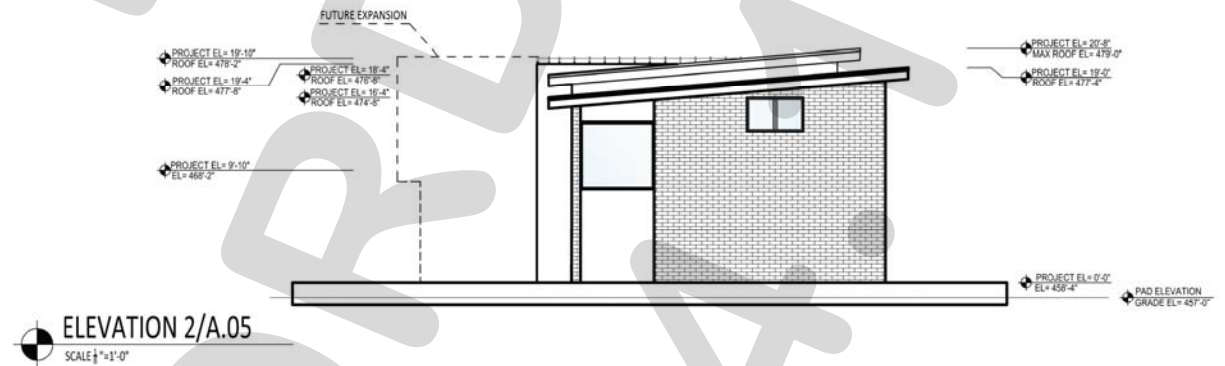
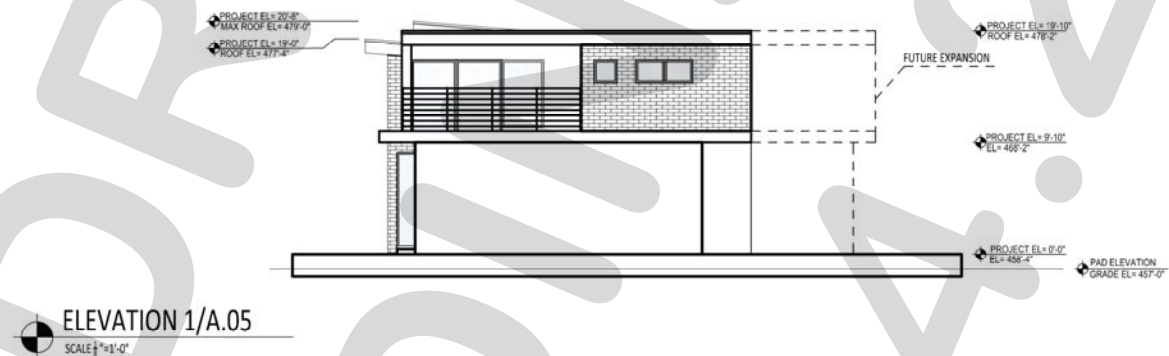
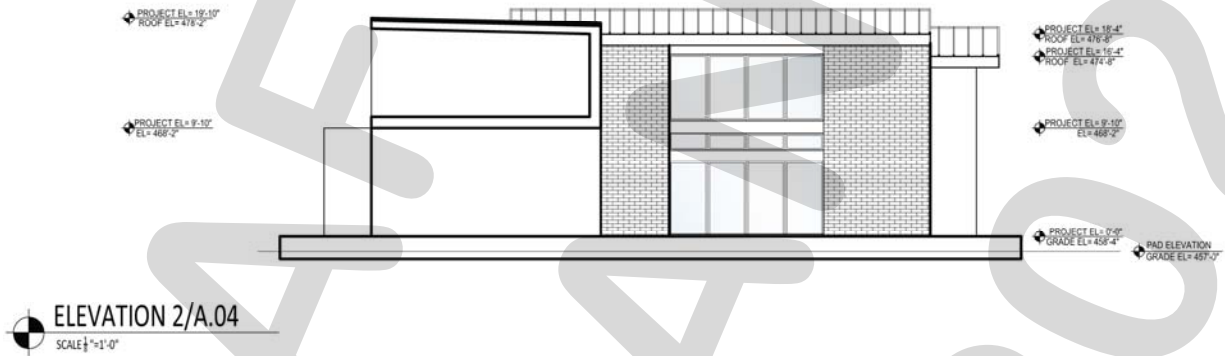


Exhibit 'C':
Building Elevations





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
FROM: Stephen Doyle; *Structured Real Estate*
DATE: April 28, 2020
SUBJECT: Z2020-015; *Zoning Change (C & LI to PD) for FitSportLife Rockwall*

On April 20, 2020, the applicant -- Stephen Doyle of Structured Real Estate -- requested to withdraw *Case No. Z2020-015* (see *Exhibit 'A'*). Per the applicant's conversations with staff and the attached withdrawal letter, the withdrawal request is to allow the applicant and seller more time to work out the details of the conveyance of the property, and to allow the applicant additional time to work with staff on the Planned Development District ordinance. According to Section 01.03, *Application Withdrawal*, of Article 11, *Development Application Procedures*, of the Unified Development Code (UDC), any case that has been published in the newspaper and notifications of a public hearing sent out must be placed on the public hearing agenda and acted upon by the applicable body. This means that the Planning and Zoning Commission will need to vote to approve the applicant's request to withdraw the case. Should the Planning and Zoning Commission have any questions staff will be available at the April 28, 2020 meeting to discuss.

Exhibit 'A'
Applicant's Withdrawal Letter

Structured Real Estate
171 N Aberdeen St, Ste 400
312.702.1719
info@structuredrea.com



APRIL 20, 2020

Ryan Miller
Director of Planning & Zoning
City of Rockwall
385 S Goliad Street
Rockwall, TX

Dear Mr. Miller,

Structured Real Estate is requesting withdrawal of our PUD zoning submission, case Z2020-015 at this time.

Per our telephone discussion, this is related to the timing of our submittal in the midst of an environment that is not 'business as usual.' We are not canceling the development, but revising the timeline for when we pursue the approvals of the development.

Additionally, we want to be respectful of the workflow timing that the City requires with the Planning and Zoning Committee and City Council reviews and approvals, as well as the wishes of the land owner that we do not change the current zoning until we have closed on the property.

Respectfully,

Steve Doyle

A handwritten signature in blue ink that reads "Steve Doyle".

PRINCIPAL



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: April 28, 2020
APPLICANT: Jason Miller; *Boucher Design Group*
CASE NUMBER: SP2020-004.; *Site Plan for Strip Retail Center at 2901 Ridge Road*

SUMMARY

Discuss and consider a request by Jason Miller of Boucher Design Group on behalf of Peter Sisan of SDI Rockwall Holdings, LLC for the approval of a Site Plan for a *strip retail center* on a 0.918-acre tract of land being identified as Lot 1, Block A, Mr. M. Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 2901 Ridge Road, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-03*. On January 3, 1972, the City's historic zoning map indicates the subject property was zoned Agricultural (AG) District. On November 12, 1973, the City Council approved a zoning change for the subject property changing the zoning designation from an Agricultural (AG) District to Planned Development District 9 (PD-9) [*Ordinance No. 73-49*] for single-family, multi-family, and shopping center uses. On June 16, 1986, the City Council approved *Ordinance No. 86-55*, which amended the concept plan for PD-9 and repealed *Ordinance No. 73-49*. This ordinance established regulations for General Retail (GR) District land uses for the subject property. Currently situated on the subject property is a convenience store and fuel canopy that were vacated in ~2016. According to the Rockwall Central Appraisal District (RCAD) these improvements were constructed in 1988.

PURPOSE

On March 20, 2020, the applicant -- *Jason Miller of Boucher Design Group* -- submitted an application requesting the approval of a site plan for the purpose of demoing the existing improvements and constructing a ~5,400 SF strip retail center.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southeast corner of Ridge Road [*FM-740*] and Horizon Road, and is addressed as 2901 Ridge Road. The land uses adjacent to the subject property are as follows:

- North: Directly north of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this roadway are properties zoned Commercial (C) District (*i.e. Scotties Exxon, American National Bank, etc.*) and General Retail (GR) District (*i.e. CVS Pharmacy and a strip retail facility*). Beyond this is Planned Development District 32 (PD-32), which is a mixed-use design district better known as the Harbor District.
- South: Directly south of the subject property is a continuation of Planned Development District 9 (PD-9), which includes the Kroger Shopping Center. This area of PD-9 has an underlying zoning of General Retail (GR) District.
- East: Directly east of the subject property is Horizon Road, which is identified as a TXDOT4D (*Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are properties zoned Commercial (C) District (*i.e. American National Bank, Kwik Industries, Lowes, etc.*). Beyond this

is a church and the Windmill Ridge Subdivision. These properties are zoned Planned Development District 13 (PD-13) single-family detached land uses.

West: Directly west of the subject property is Ridge Road, which is identified as a M4D (*major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan. Beyond this are properties zoned General Retail (GR) District (*i.e. CVS Pharmacy and strip retail facilities*). Beyond this is Planned Development District 32 (PD-32), which is a mixed-use design district better known as the Harbor District.

DENSITY AND DIMENSIONAL REQUIREMENTS

The subject property is located within Planned Development District 9 (PD-9), which has an underlying zoning of General Retail (GR) District. According to Section 01, *Land Use Schedule*, of Article 04 *Permissible Uses*, of the Unified Development Code (UDC), the proposed use (*i.e. strip retail center*) is allowed *by-right* in a General Retail (GR) District. With the exception of the variances being requested the submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the UDC for a property located within Planned Development District 9 (PD-9). The proposed strip retail facility will be constructed utilizing stone, stucco, store front glass, canopies, and will incorporate a flat roof design. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	<i>6,000 SF</i>	<i>40,148 SF; In Compliance</i>
<i>Minimum Lot frontage</i>	<i>60 Feet</i>	<i>x>82-Feet; In Compliance</i>
<i>Minimum Lot Depth</i>	<i>100 Feet</i>	<i>x>222-Feet; In Compliance</i>
<i>Minimum Front Yard Setback</i>	<i>15 Feet</i>	<i>x>15-Feet; In Compliance</i>
<i>Minimum Rear Yard Setback</i>	<i>0 Feet w/FRW</i>	<i>10-Feet; In Compliance</i>
<i>Minimum Side Yard Setback</i>	<i>0 Feet w/FRW</i>	<i>x>50-Feet; In Compliance</i>
<i>Maximum Building Height</i>	<i>36 Feet w/o SUP</i>	<i>25-Feet; In Compliance</i>
<i>Max Building/Lot Coverage</i>	<i>40%</i>	<i>~13.4%; In Compliance</i>
<i>Minimum Masonry Requirement</i>	<i>90%</i>	<i>x>90%; In Compliance</i>
<i>Minimum Number of Parking Spaces</i>	<i>37</i>	<i>37 Provided; In Compliance</i>
<i>Minimum Stone Requirement</i>	<i>20% each Facade</i>	<i>x>20%; In Compliance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>~31%; In Compliance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>~68.6%; In Compliance</i>

TREESCAPE PLAN

All existing trees (*i.e. 258-caliper inches*) will remain on site; therefore no treescape plan is required.

CONFORMANCE WITH THE CITY'S CODES

Subsection 04.04, *General Retail (GR) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that the General Retail (GR) District is a district intended to provide limited retail and service uses for nearby residential neighborhoods and is not intended to be a major commercial/retail district. General Retail (GR) Districts should try to avoid intensive commercial land uses that carry large volumes of retail traffic and should be adequately buffered from residential land uses. General Retail (GR) Districts are generally situated in close proximity to an arterial roadway or major collector that is capable of carrying the traffic generated by the land uses in the district. Since the General Retail (GR) District is located close to residential areas, the development standards are more stringent and similar to the Residential-Office (RO) and Neighborhood Services (NS) Districts. In this case, the applicant's proposal is adjacent to Ridge Road (*which is identified as a M4D on the City's Master Thoroughfare Plan*) and Horizon Road (*which is identified as a TXDOT4D on the City's Master Thoroughfare Plan*). The *strip retail* land use is not typically considered an intensive commercial land use, nor is it a high-volume water/wastewater user. With regard to the land use, a retail facility is permitted *by-right* in a General Retail (GR) District.

VARIANCES/EXCEPTIONS REQUESTED BY THE APPLICANT

Based on the information submitted by the applicant, staff has identified the following exceptions and variances to the requirements of Subsection 04.01, *General Commercial District Standards* and Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC):

(1) Building Articulation.

- (a) *Primary Building Façades.* According to Subsection 04.01.C.1, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 25% above the top of the wall and a minimum of 25% from the walls surface. In addition, no wall should exceed a length of three (3) time the walls height without an architectural/entryway element. In this case, the proposed building incorporates vertical projections on all facades; however, the building design does not meet the horizontal projection standards for primary façades (*i.e. north elevation*).
- (b) *Secondary Building Façades.* According to Subsection 04.01.C.2, *General Commercial District Standards*, of Article 05, *District Development Standards*, of the UDC, primary facades require projections associated with entryways, architectural elements and wall lengths. Specifically, primary architectural/entryway elements are required to extend a minimum of 15% above the top of the wall and a minimum of 15% from the walls surface. In addition, no wall should exceed a length of three (3) times the walls height without an architectural/entryway element. In this case, the proposed building does incorporate vertical projections on all facades; however, the building design does not meet the horizontal projection standards for secondary façades (*i.e. south elevation*).

(2) Roof Design Standards.

- (a) According to Subsection 06.02.C.2, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all structures that have a footprint of less than 6,000 SF shall be constructed with a pitched roof. The proposed strip retail building will utilize a flat roof system with raised parapet elements. This does not conform to the requirements of the General Overlay District Standards of the UDC.

(3) Architectural Standards.

- (a) *Four (4) Sided Architecture.* According to Subsection 06.02.C.5, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the UDC, all buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation, and architectural features. In this case, the rear elevation (*i.e. south façade*) does not incorporate the same detailing and/or features as found on the remainder of the building's facades.

According to Section 9, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC)" or "a variance to any provision contained in *Subsection 06.02, General Overlay District Standards*, where unique or extraordinary conditions exist or where strict adherence to the technical requirements of this section would create an undue hardship." In cases where variances or exceptions are being requested, the applicant shall provide compensatory measures that directly offset the requested exception or variance. In this case, the applicant has provided a letter explaining the exceptions and variances being requested and the proposed compensatory measures for the requested exceptions and variances.

Staff should also note the number of compensatory measures listed by the applicant does not meet the exact requirements of the ordinance; however, the Planning and Zoning Commission is tasked with determining if the compensatory measures properly off-set or mitigate for the requested variances. This is a discretionary decision for the Planning and Zoning Commission that requires approval by a super majority vote (*i.e. a three-fourths vote of those members present*), with a minimum of four (4) votes in the affirmative required for approval. In the event that the exception is denied, the applicant has the ability to appeal the Planning and Zoning Commission's decision to the City Council by filing a written request with the Planning and Zoning Department.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Medical District which is "...a highly specialized district that is characterized by the medical and professional offices, which line Horizon Road [FM-3097], Rockwall Parkway, and Tubbs Road. At the center of this district is Presbyterian Hospital of Rockwall, a ~100,000 SF full service hospital facility...(e)xtending north from W. Ralph Hall Parkway are several retail and personal service businesses that transition the district from medical and professional offices to commercial/retail land uses, which are more characteristic of the land uses along Ridge Road [FM-740]. It is anticipated that this area will continue to function in this manner, providing financial and retail services that support the district and the residential subdivisions surrounding this district." The district strategies of the Comprehensive Plan provides that infill development within this district should be compatible with the surrounding land uses. The Commercial/Retail land use category is characterized by single to multi-tenant commercial retail centers along major arterials at key intersections. These areas are typically considered to be convenience shopping centers and service adjacent residential subdivisions. The location of the proposed strip retail center at the intersection of Ridge Road and Horizon Road is considered to be highly visible within the district.

In addition, Goal 3, *Visual Impacts*, of Chapter 09, *Non-Residential*, the Comprehensive Plan states "(a)ll non-residential buildings should be designed so that negative visual impacts of the development are minimized". *Policy 4* of this section also indicates that "...long, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, the applicant is proposing vertical articulation; however, the building design is indicative of a flat wall design with revels, small bump-outs, and canopies that provide breaks. This does not meet the intent of the horizontal articulation standards of the UDC for the front and rear facing facades (*i.e. north and south facades*). Staff has requested the applicant consider tower elements, pilasters, and/or other aesthetic elements (*i.e. canopies and faux windows on the south elevation*) that would alleviate the possible negative visual impacts of these facades.

The applicant has made changes by lowering the front parapet at the center, which provides a tower element appearance for the front facing façade. Additionally, the applicant has also raised the corner parapets on the rear façade to provide a lower tower element appearance and varied roof heights for the site. The tower elements also have an architectural cornice that provides additional relief. The applicant has made a change from using brick on the structure to incorporating a natural stone product, meeting the Scenic Overlay (SOV) District standard of a minimum of 20% on each façade. However, when reviewing the revised elevations, the applicant is not meeting the intent of *Policy 4* by not providing horizontal relief long walls of the front and rear facades (*i.e. north and south elevations*). It should be noted that the site has 258-caliper inches of trees (*i.e. 20 large Oak and Cypress Trees*) that will remain --(*i.e. no mitigation required*) and as a compensatory measure for the variances being requested, the applicant is providing additional trees and shrubs around the facility. With this being said, the Architectural Review Board (ARB) will review the revised elevations for conformity to the Comprehensive Plan and surrounding area at their meeting on April 28, 2020.

ARCHITECTURAL REVIEW BOARD (ARB):

Due to COVID-19 and the City's disaster declaration, the Architectural Review Board (ARB) did not meet on April 14, 2020; however, staff did email the proposed site plan and building elevations for the ARB's review and comments. Upon review, the Architectural Review Board (ARB) indicated that based on the high visibility of the site, they recommended the applicant meet the intent of the overlay district standards (*i.e. vertical and horizontal articulation, stone requirements, four [4] sided architecture*) in order to better blend aesthetically with the surrounding properties.

The applicant has revised the building elevations; however, the revisions do not appear to meet the intent of the Scenic Overlay (SOV) District standards and require approval of variances as outlined in the *Variances/Exceptions Request by the Applicant* section above. The Architectural Review Board (ARB) will review the applicant's revised building elevations at the April 28, 2020 meeting via Zoom, and provide a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's site plan for the strip retail center, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this site plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre) ¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre) ¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre) ¹
- ☐ Replat (\$300.00 + \$20.00 Acre) ¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☒ Site Plan (\$250.00 + \$20.00 Acre) ¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre) ¹
- ☐ Specific Use Permit (\$200.00 + \$15.00 Acre) ¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre) ¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **2901 Ridge Road, Rockwall, Texas 75032**

Subdivision

Lot

Block

General Location **Hard corner of Ridge Road and Horizon Road**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **PD-9, General Retail**

Current Use **Commercial**

Proposed Zoning **PD-9, General Retail**

Proposed Use **Commercial**

Acreage **0.921 acres**

Lots [Current] **1**

Lots [Proposed] **1**

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner **SDI Rockwall Holdings, LLC**

☒ Applicant **Boucher Design Group**

Contact Person **Peter Sisan**

Contact Person **Jason Miller**

Address **1800 West Loop South
Suite 1850**

Address **6802 Mapleridge Street
Suite 200**

City, State & Zip **Houston, Texas 77027**

City, State & Zip **Bellaire, Texas 77401**

Phone **713-892-5200**

Phone **713-785-3644**

E-Mail **psisan@sdirealty.com**

E-Mail **jason@bdgap.com**

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared Jason Miller [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ \$270.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 19th day of March, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

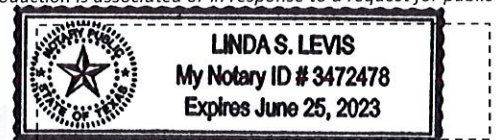
Given under my hand and seal of office on this the 19th day of March, 20 20.

Owner's Signature

[Signature]

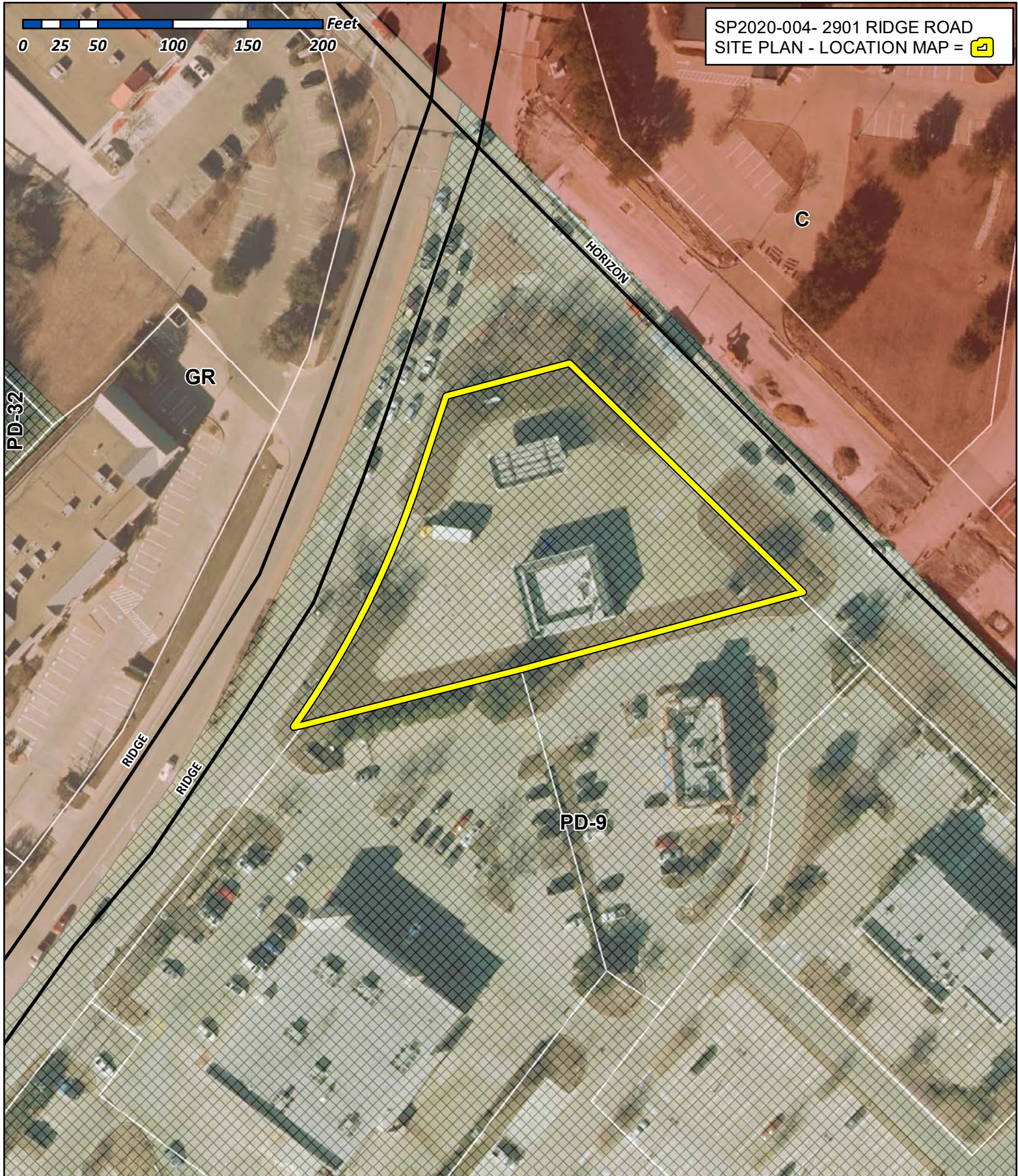
Notary Public in and for the State of Texas

[Signature]



My Commission Expires

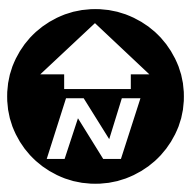
6/25/2023



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



April 23, 2020

Case No: SP2020-004

Kroger Outlot
2901 Ridge Road
Rockwall, Texas 75032

Variance Letter for Site Plan comments received on 4/8/2020 and 4/22/2020.

Dear Mr. Gonzales,

For the project case number SP2020-004, we are submitting this letter as a request for variance for the three (3) items listed below.

The existing conditions and encumbrances of this site have proven especially difficult in our attempts to achieve the minimum requirements for developing a commercial multi-tenant building per the Unified Development Code (UDC) and Scenic Overlay District ordinances.

We believe we have made every effort to cooperate with and abide by what the City of Rockwall desires to be constructed on this site, to the extent that the project can successfully function as a commercial restaurant/retail use development.

Due to the abnormal shape and size limitations of the property, along with presence of the Scenic Overlay District, out of the nine (9) available compensatory measures outlined in the UDC for requesting a variance, only three (3) of those measure are feasible options:

- Increased landscaping
- Increased building articulation
- Increased architectural elements.

That list is further reduced as two (2) of the remaining compensatory measures are already proposed deficiencies for the project.

As such, our only choice for compensatory measures for variance purposes, is to submit that we are providing additional landscaping above and beyond what is required by the UDC and Scenic Overlay by preserving and maintaining the existing canopy tree plantings along Ridge Road and Horizon Road.

Please see below responses to the Revision 1 Comments received on April 22, 2020.

3) Building Articulation.

The reduced size of building brought about by the existing site encumbrances, parking and landscape requirements, does not allow for the substantial building articulation requirements set forth in the UDC. We have implemented feasible articulation elements such as pilaster bump-outs, metal canopies and awnings, parapet cap projections, stone wainscoting, and corner tower projections at the rear of the building. We must be allowed to maintain flexibility on the front elevation for current and future generation tenant signage, as well as maintain functionality of the

rear elevation for such requirements as power, data and telephone services, and delivery access and emergency egress for each tenant.

5) Roof Design Standards.

As a commercial multi-tenant building with both restaurant and retail service users, a pitched roof design does not allow for the installation and long-term maintenance of required systems that must typically be installed on the roof. We are proposing an industry standard sloped (flat) roof system that shall be adequately screened by parapets on all four sides. There are several similar buildings within the vicinity that have similar conditions. The limited size of the proposed building again precludes us from being able to comply with the sloped roof requirement.

6) Four (4) Sided Architecture.

Similar to our response for item 3 above, the rear of this commercial multi-tenant building must be able to function properly for delivery access and emergency egress, and for housing the utilities and services required for the tenants. Any additional architectural elements beyond what has been proposed, would cause undue hardship for the owner, and potentially jeopardize the feasibility and success of the project entirely.

We respectfully request consideration of our responses as acceptable grounds for approval of the above variances by the Planning & Zoning Commission.

Sincerely,

Jason Miller, RA
Boucher Design Group



DIRECTOR OF PLANNING AND ZONING

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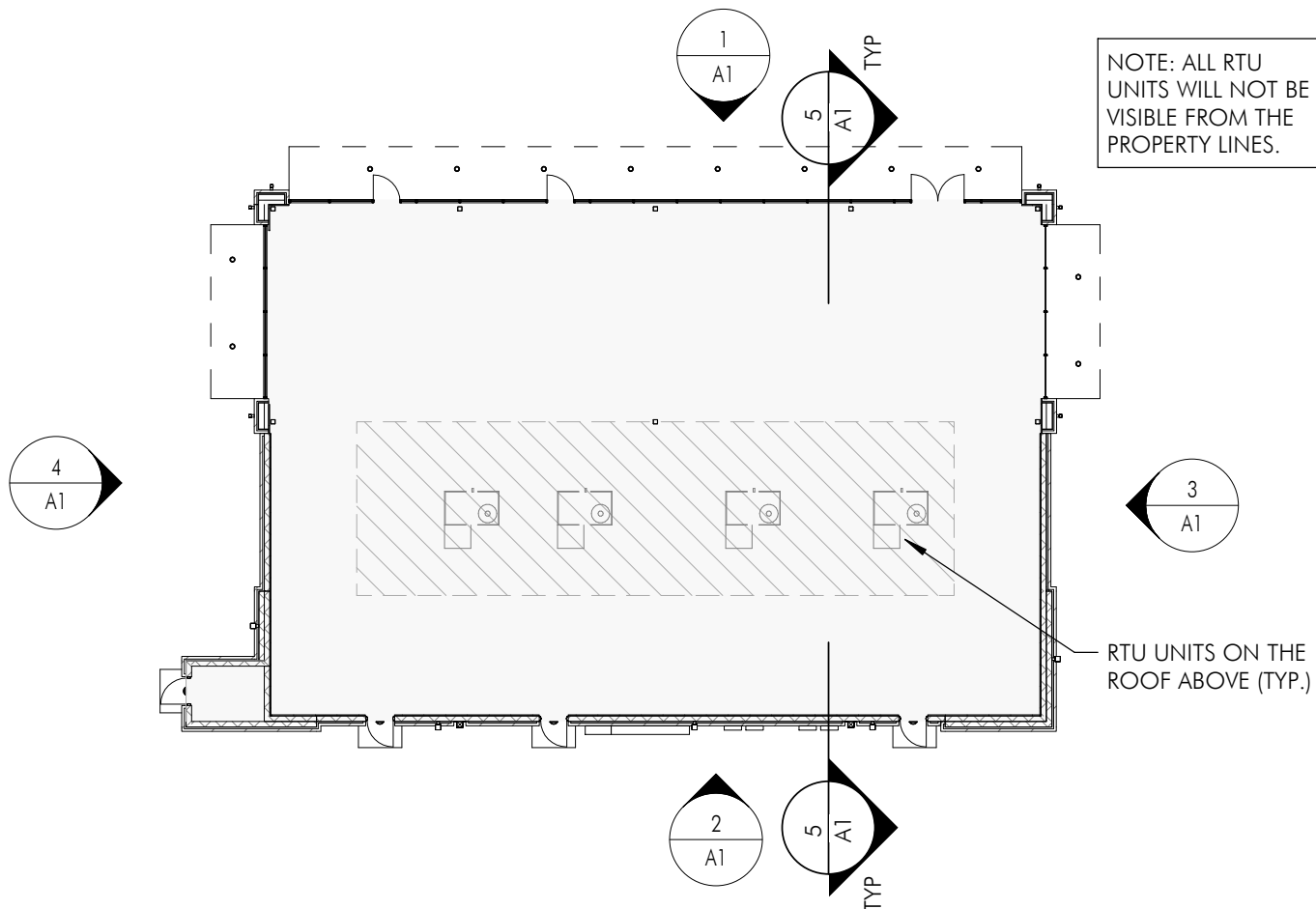
NORTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (486 S.F.)	20% (MIN)	40%	EIFS/ MTL./ CAST STONE (130 S.F.)	10% (MAX)	10%
STUCCO (630 S.F.)	50% (MAX)	50%			
TOTAL (1,116 S.F.)	90% (MIN)	90%	TOTAL (130 S.F.)	10% (MAX)	10%

SOUTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (645 S.F.)	20% (MIN)	33%	EIFS/ MTL./ CAST STONE (61 S.F.)	10% (MAX)	3%
CMU (1,262 S.F.)		64%			
TOTAL (1,907 S.F.)	90% (MIN)	97%	TOTAL (61 S.F.)	10% (MAX)	3%

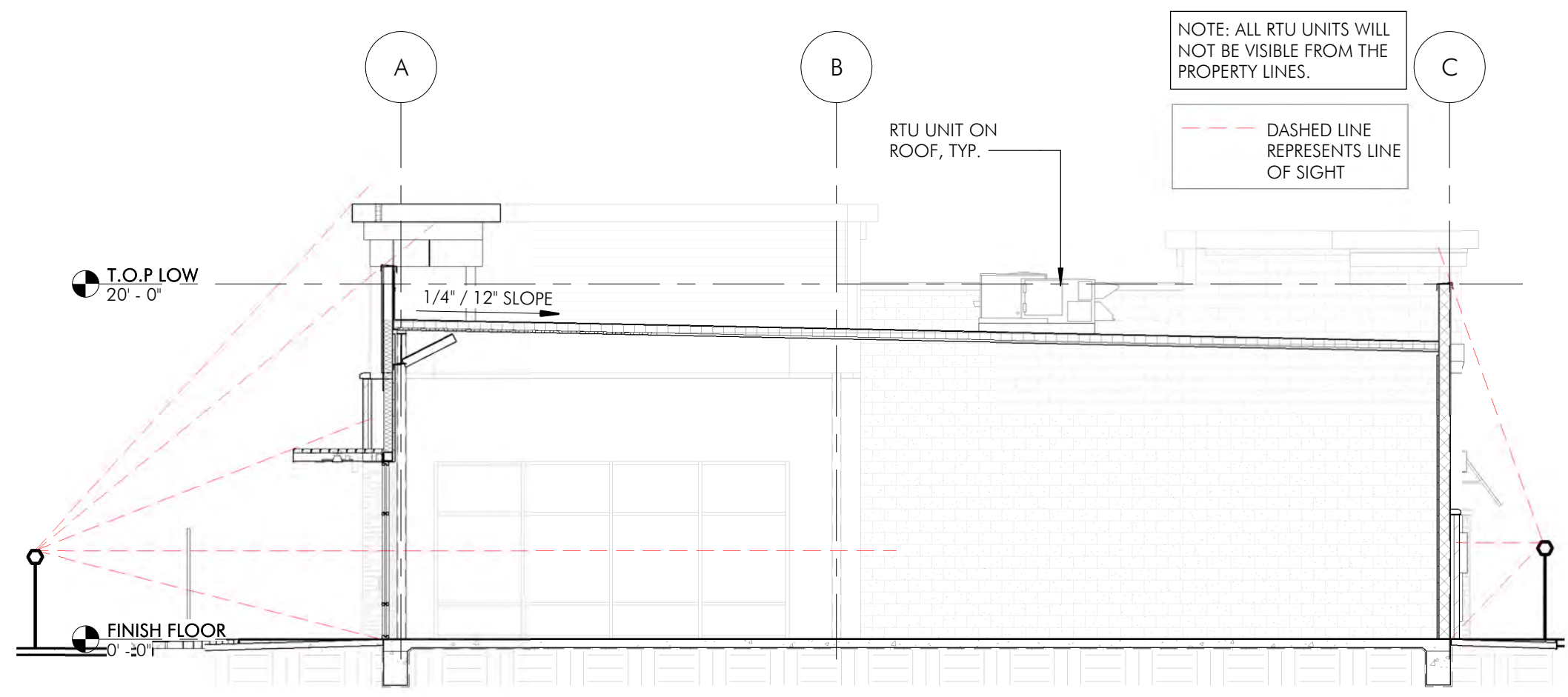
EAST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (458 S.F.)	20% (MIN)	39%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	17%			
TOTAL (1,109 S.F.)	90% (MIN)	94%	TOTAL (74 S.F.)	10% (MAX)	6%

WEST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (434 S.F.)	20% (MIN)	38%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	18%			
TOTAL (1,085 S.F.)	90% (MIN)	94%	TOTAL (74 S.F.)	10% (MAX)	6%

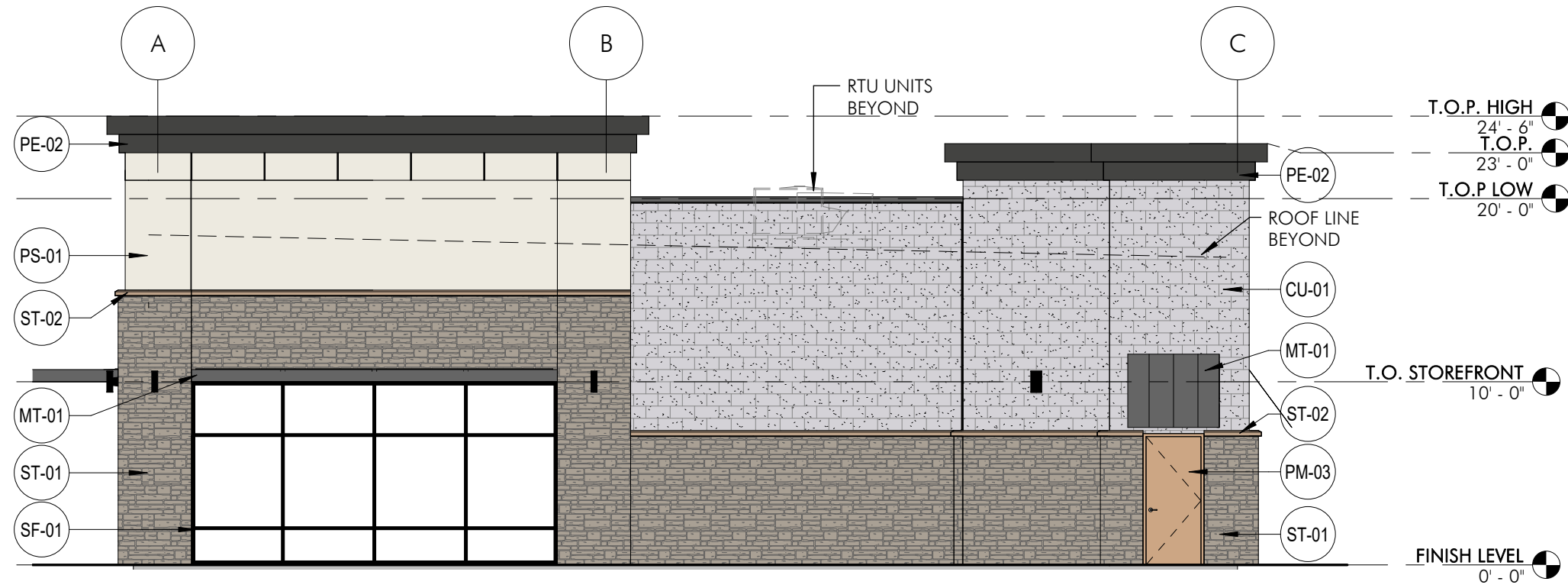
OVERALL BUILDING (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	%PROVIDED
STONE (2,022 S.F.)	20% (MIN)	36%	EIFS/ MTL./ CAST STONE (340 S.F.)	10% (MAX)	6%
CMU (2,150 S.F.)		39%			
STUCCO (1,044 S.F.)	50% (MAX)	19%			
TOTAL (5,217 S.F.)	90% (MIN)	94%	TOTAL (340 S.F.)	10% (MAX)	6%



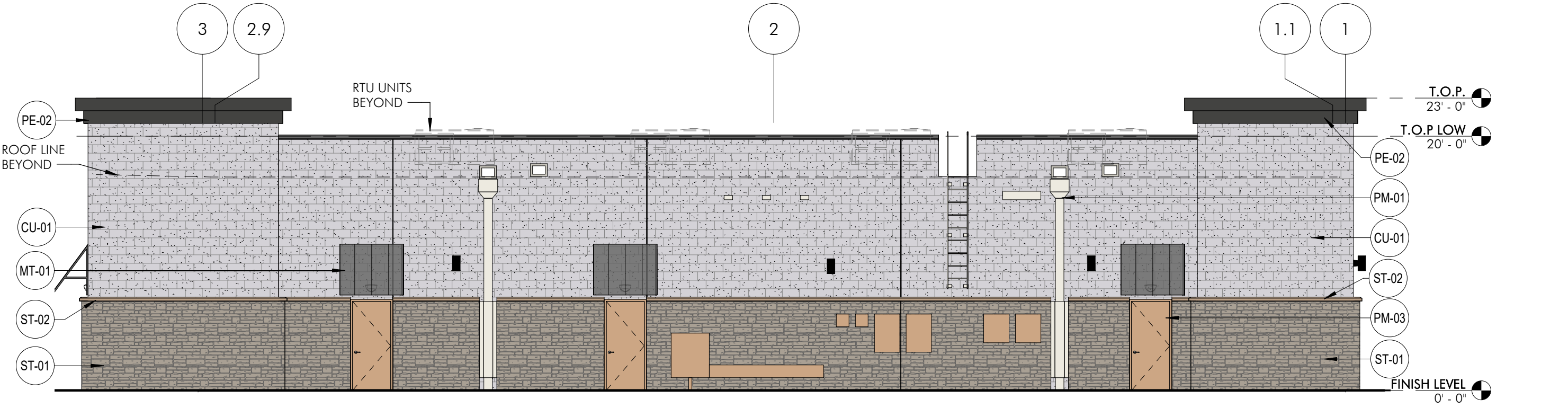
KEY FLOOR PLAN | 6
3/64" = 1'-0"



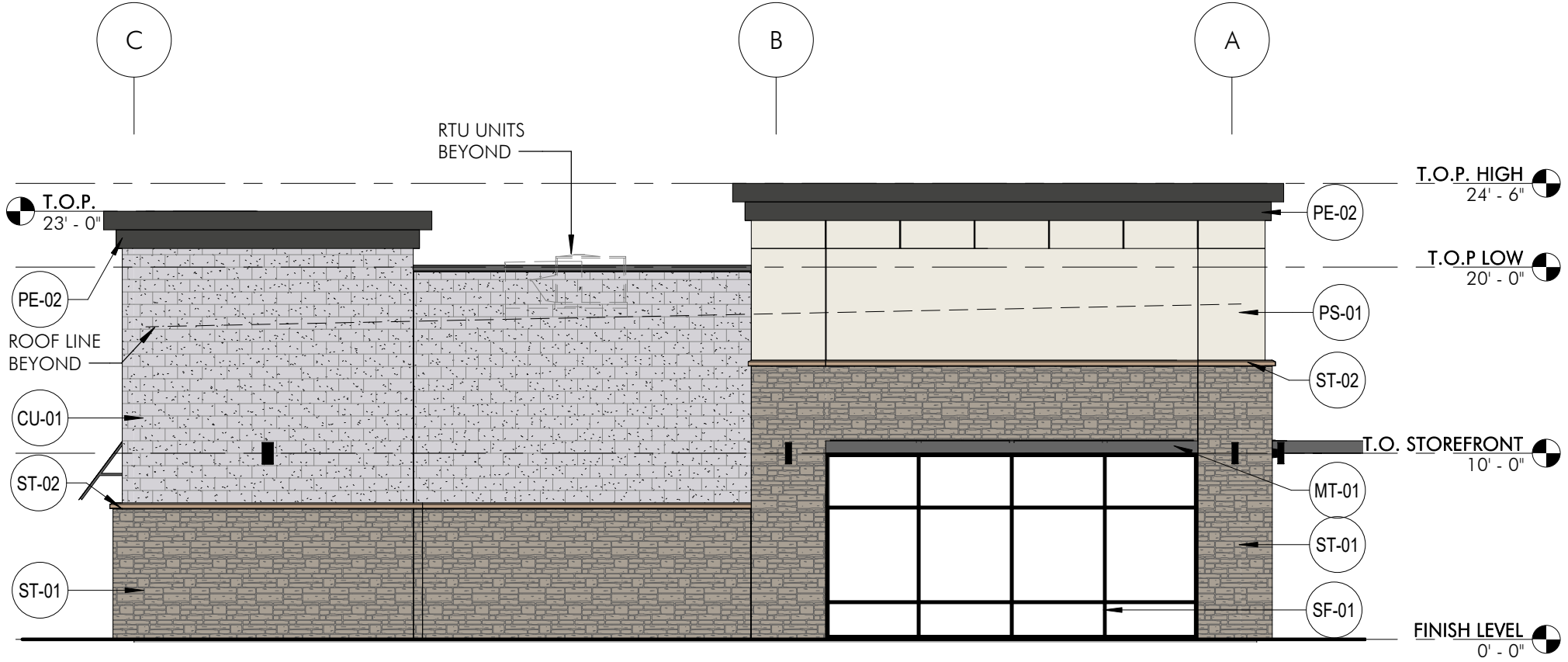
BLDG. SECTION | 5
1/8" = 1'-0"



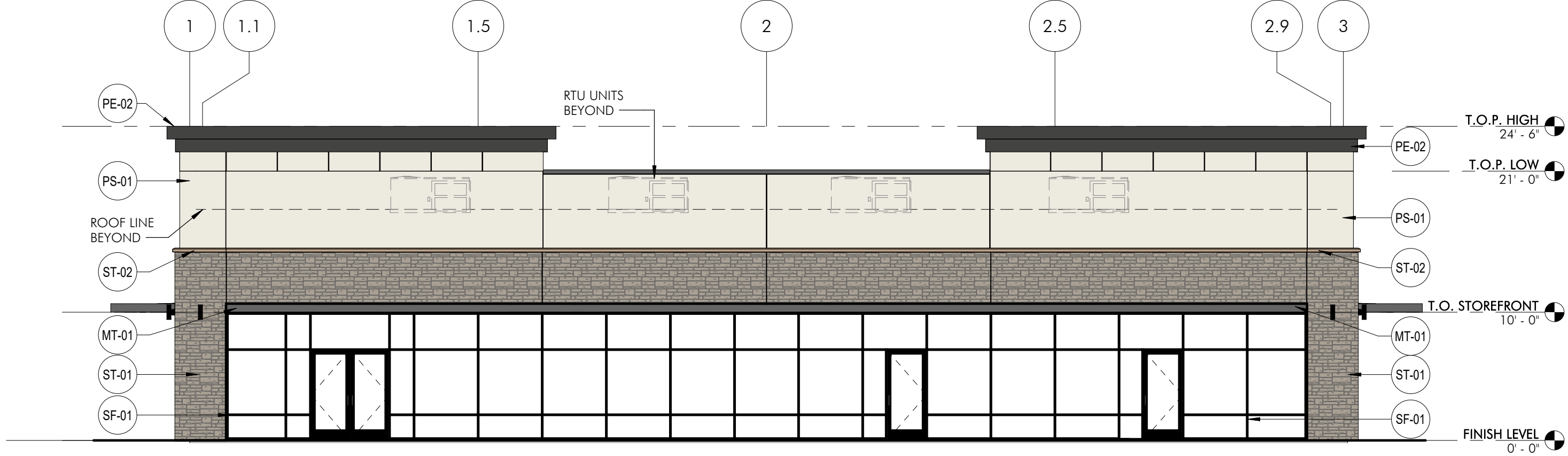
WEST ELEVATION | 4
1/8" = 1'-0"



SOUTH ELEVATION | 2
1/8" = 1'-0"



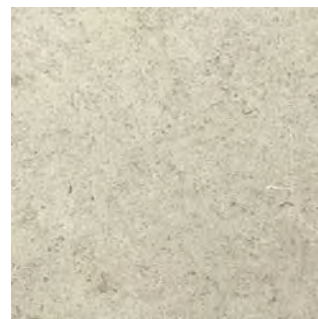
EAST ELEVATION | 3
1/8" = 1'-0"



NORTH ELEVATION | 1
1/8" = 1'-0"



ST-01
CHOPPED STONE
UPCHURCH KIMBROUGH
DARK SANDSTONE



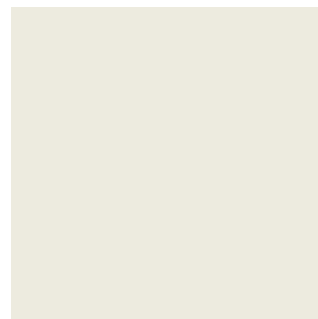
ST-02
LIMESTONE
UPCHURCH KIMBROUGH
GRIZ



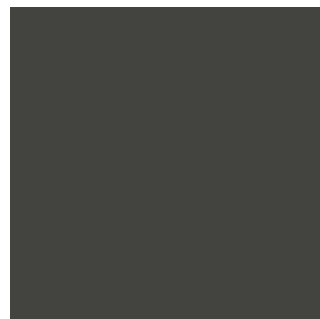
CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE



MT-01
PREFINISHED METAL
CANOPY/ COPING/ AWNING
BERRIDGE CHARCOAL GRAY



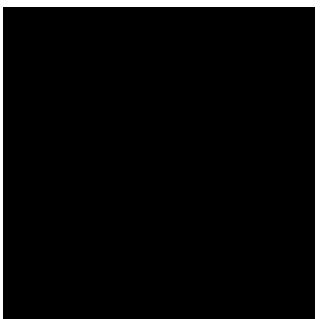
PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER



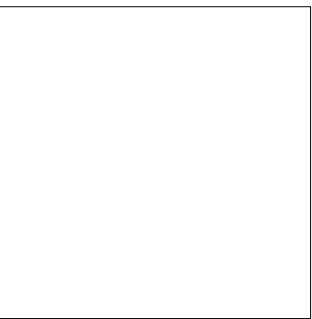
PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE



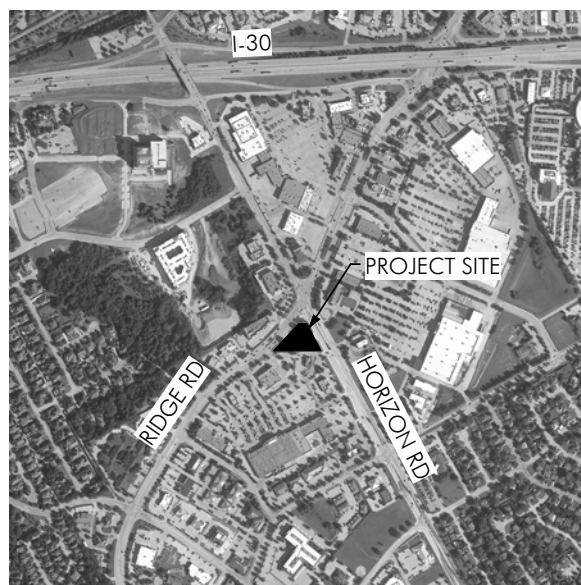
PM-03
PAINTED MTL.
SHERWIN WILLIAMS
SW7715 POTTERY URN



SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK



R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE



PROPOSED LAND USE: GENERAL RETAIL
CASE NO.: SP2020-004



ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL
	04/21/20	CITY COMMENTS
	04/22/20	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group, LLC
Members A.I.A.
6802 Maple Ridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

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PRELIMINARY
MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION MARC E. BOUCHER, REGISTERED ARCHITECT, TEXAS NO. 14291, EXPIRES 05-31-20

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TX 75032
SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR ELEVATIONS

A1
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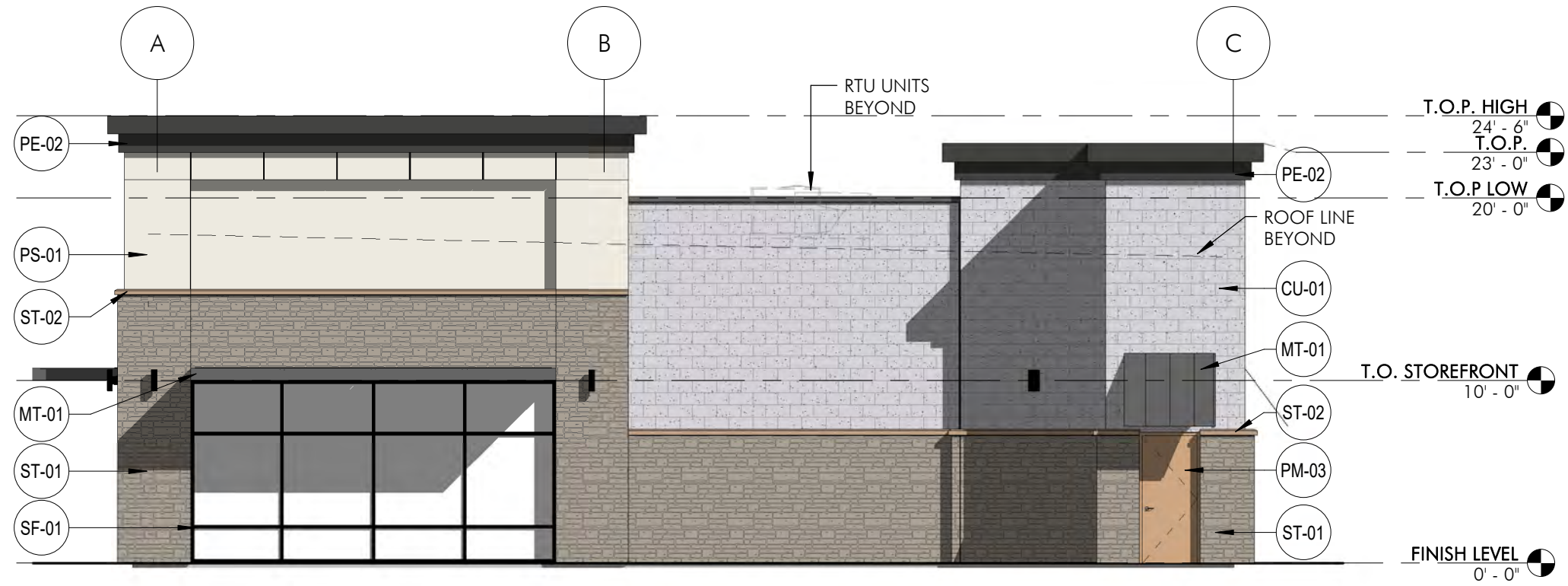
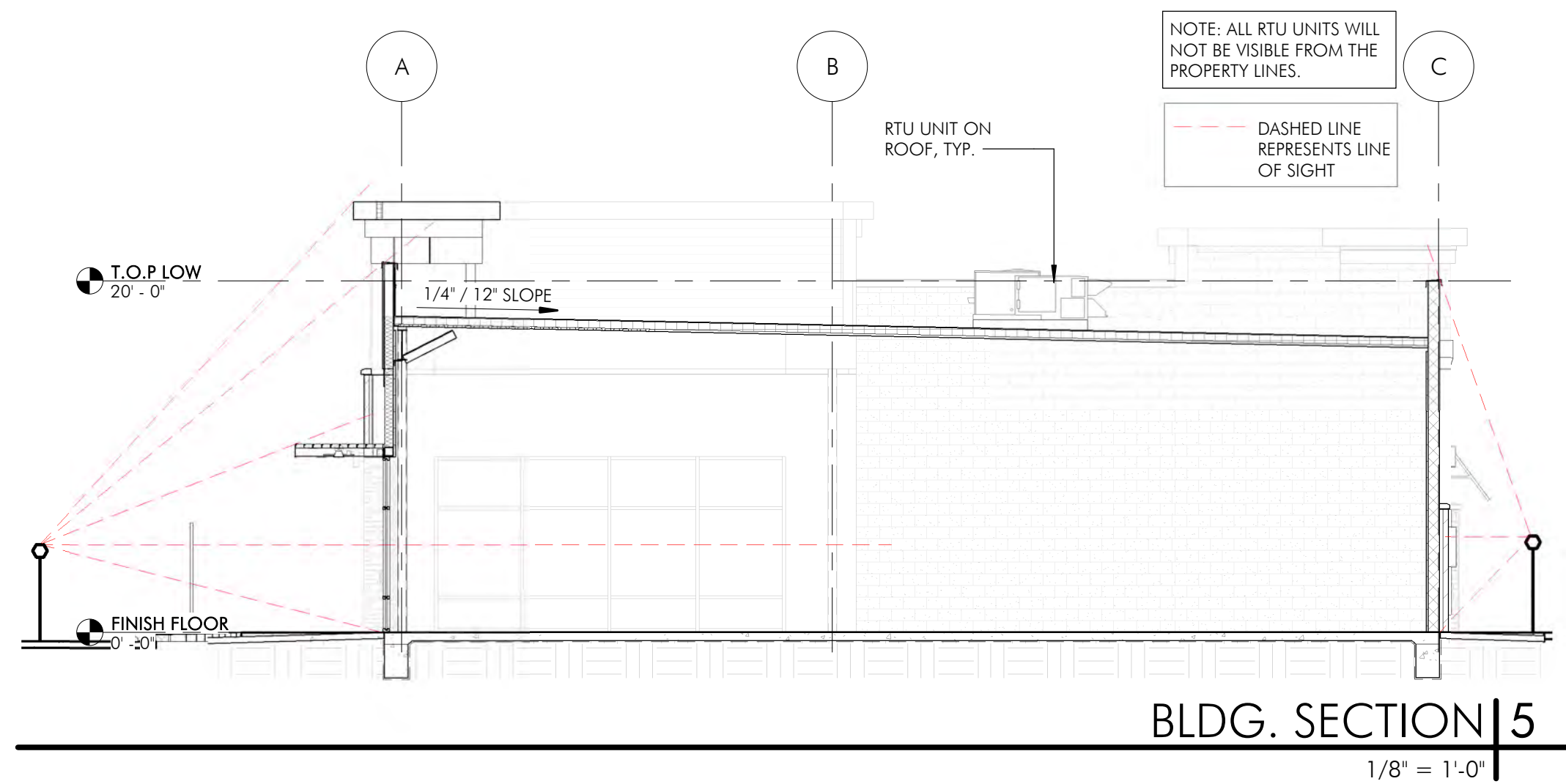
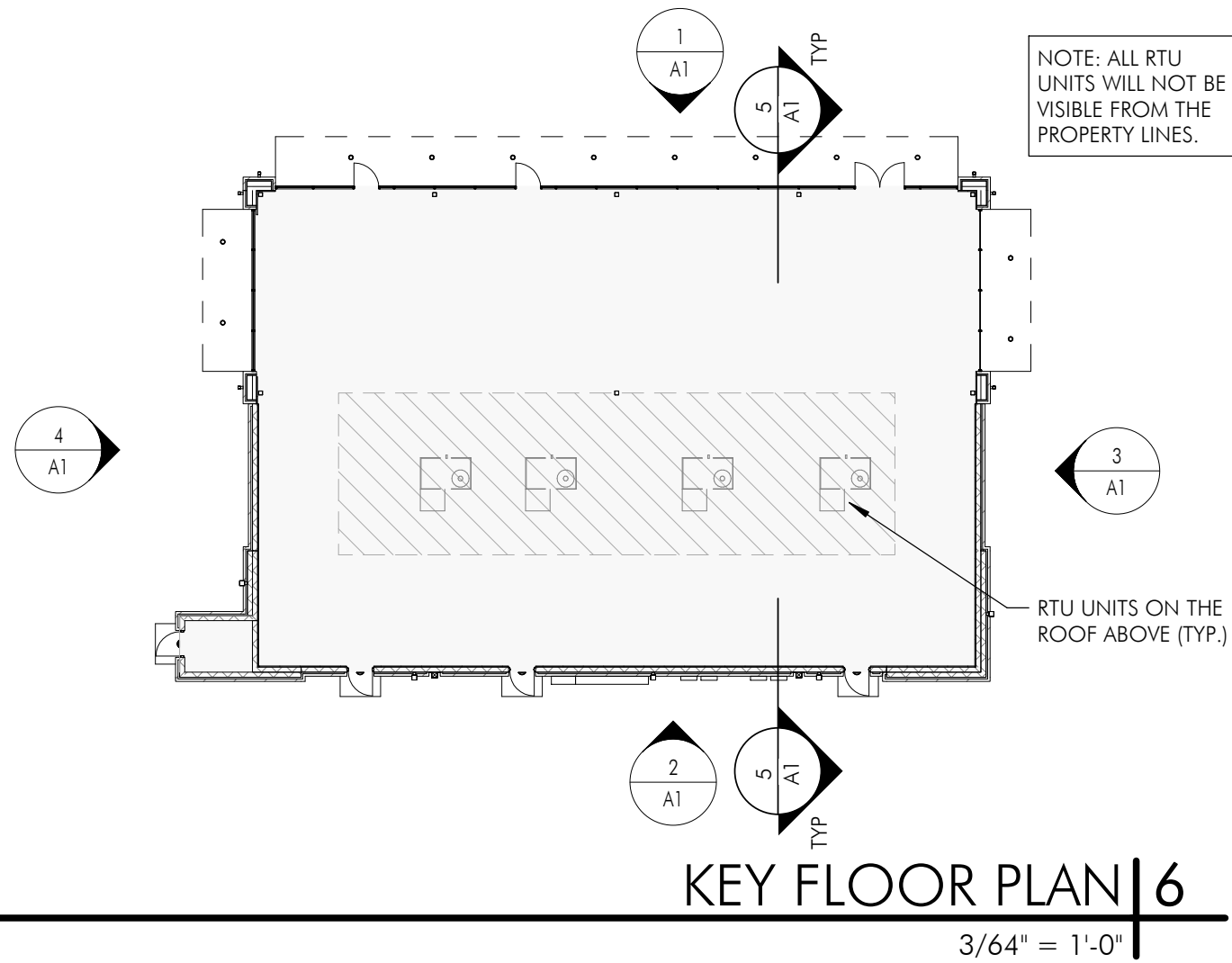
NORTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE (486 S.F.)	20% (MIN)	40%	EIFS/ MTL./ CAST STONE (130 S.F.)	10% (MAX)	10%
STUCCO (630 S.F.)	50% (MAX)	50%			
TOTAL (1,116 S.F.)	90% (MIN)	90%	TOTAL (130 S.F.)	10% (MAX)	10%

SOUTH ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE (645 S.F.)	20% (MIN)	33%	EIFS/ MTL./ CAST STONE (61 S.F.)	10% (MAX)	3%
CMU (1,262 S.F.)		64%			
TOTAL (1,907 S.F.)	90% (MIN)	97%	TOTAL (61 S.F.)	10% (MAX)	3%

EAST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE (458 S.F.)	20% (MIN)	39%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	17%			
TOTAL (1,109 S.F.)	90% (MIN)	94%	TOTAL (74 S.F.)	10% (MAX)	6%

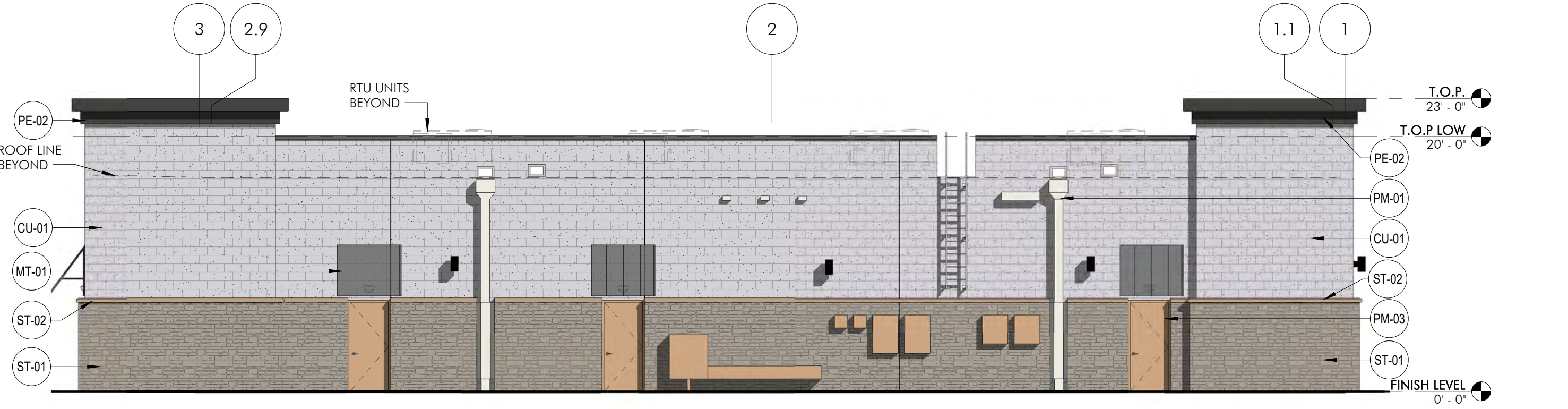
WEST ELEVATION (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE (434 S.F.)	20% (MIN)	38%	EIFS/ MTL./ CAST STONE (74 S.F.)	10% (MAX)	6%
CMU (444 S.F.)		38%			
STUCCO (207 S.F.)	50% (MAX)	18%			
TOTAL (1,085 S.F.)	90% (MIN)	94%	TOTAL (74 S.F.)	10% (MAX)	6%

OVERALL BUILDING (MATERIALS %)					
PRIMARY FINISH	% REQ.	% PROVIDED	SECONDARY FINISH	% REQ.	% PROVIDED
STONE (2,022 S.F.)	20% (MIN)	36%	EIFS/ MTL./ CAST STONE (340 S.F.)	10% (MAX)	6%
CMU (2,150 S.F.)		39%			
STUCCO (1,044 S.F.)	50% (MAX)	19%			
TOTAL (5,217 S.F.)	90% (MIN)	94%	TOTAL (340 S.F.)	10% (MAX)	6%



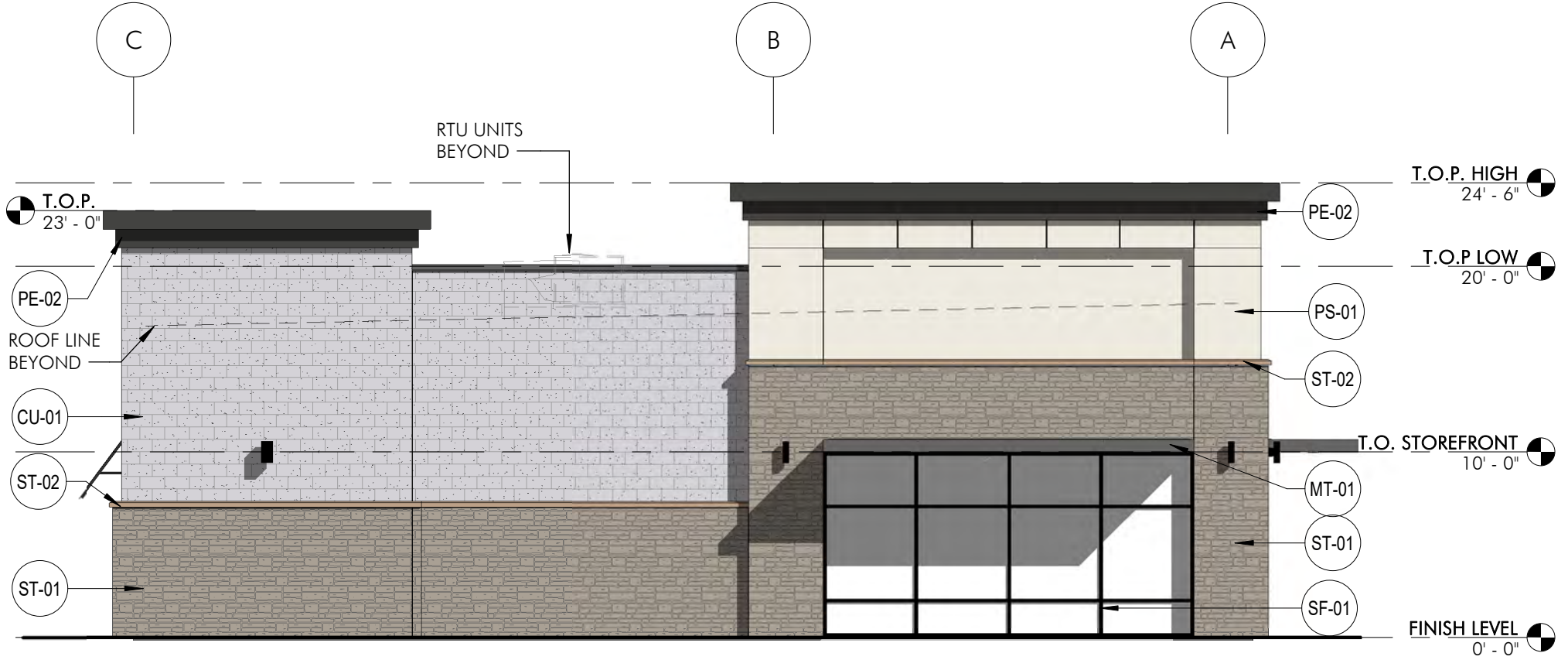
WEST ELEVATION | 4

1/8" = 1'-0"



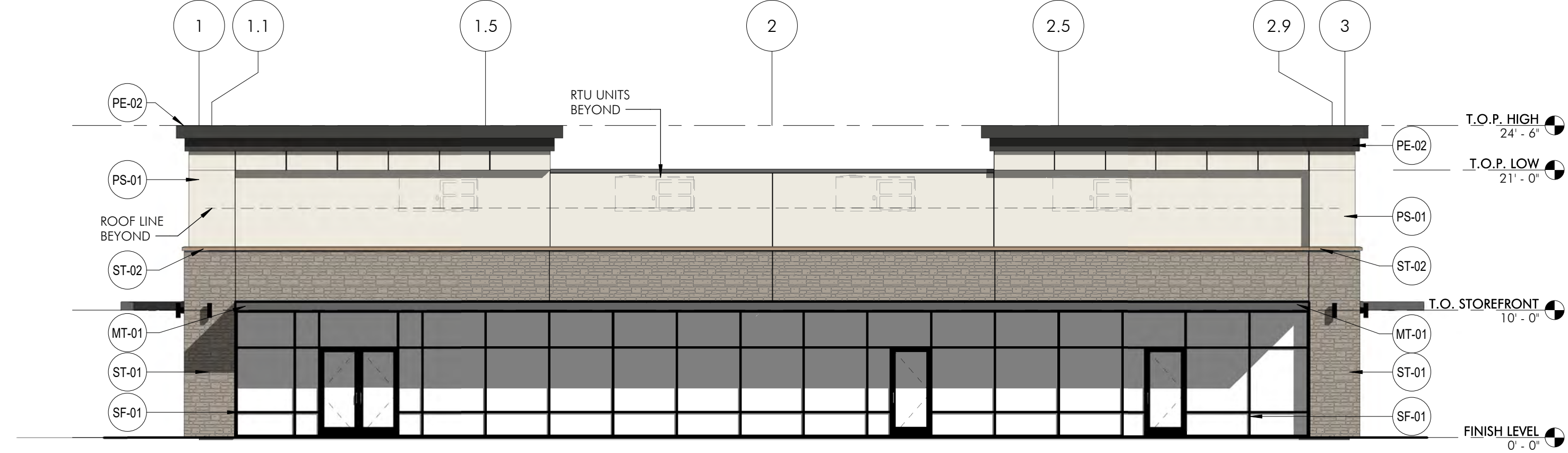
SOUTH ELEVATION | 2

1/8" = 1'-0"



EAST ELEVATION | 3

1/8" = 1'-0"

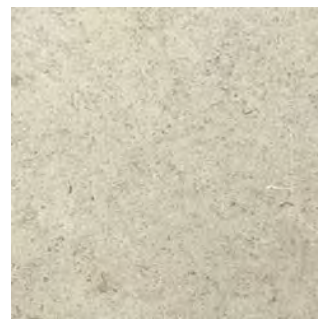


NORTH ELEVATION | 1

1/8" = 1'-0"



ST-01
CHOPPED STONE
UPCHURCH KIMBROUGH
DARK SANDSTONE



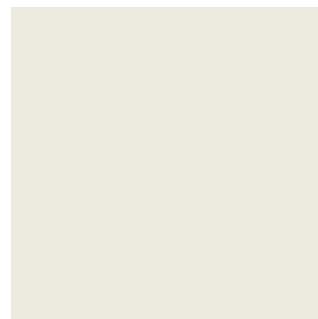
ST-02
LIMESTONE
UPCHURCH KIMBROUGH
GRIZ



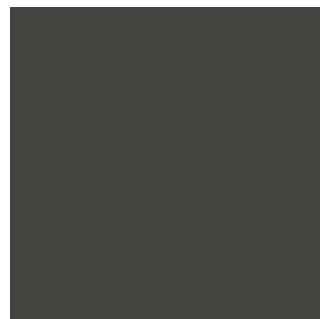
CU-01
SPLIT-FACE CMU
OLD CASTLE
WHITE LIMESTONE



MT-01
PREFINISHED METAL
CANOPY/ COPING/ AWNING
BERRIDGE CHARCOAL GRAY



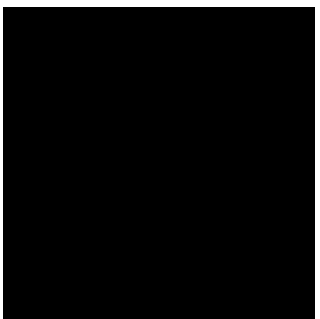
PS-01/PM-01
PAINT
SHERWIN WILLIAMS
SW7008 ALABASTER



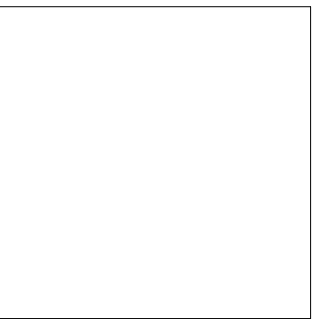
PE-02
INTEGRAL COLOR EIFS
SHERWIN WILLIAMS
SW7069 IRON ORE



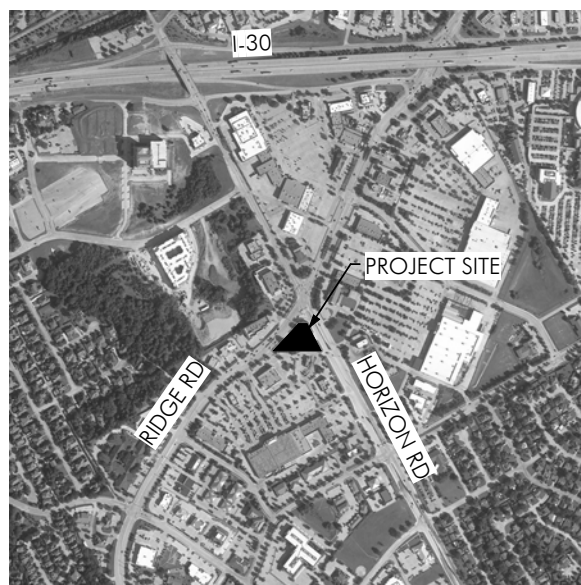
PM-03
PAINTED MTL.
SHERWIN WILLIAMS
SW7715 POTTERY URN



SF-01
STOREFRONT
KAWNEER
ANODIZED BLACK



R-01
ROOFING
TPO SINGLE-PLY
COLOR: WHITE



PROPOSED LAND USE: GENERAL RETAIL
CASE NO.: SP2020-004



ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL
	04/21/20	CITY COMMENTS
	04/22/20	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

WITNESS OUR HANDS, this ____ day of _____, 20____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

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MAY NOT BE USED FOR
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PERMITTING, OR
CONSTRUCTION MARC E.
BOUCHER, REGISTERED
ARCHITECT, TEXAS NO.
14291, EXPIRES 05-31-20

KROGER OUTLOT
2901 RIDGE ROAD
ROCKWALL, TX 75032
SDI ROCKWALL HOLDINGS, LLC
1800 WEST LOOP S. STE. 1850
HOUSTON, TX 77027;
713.892.5200

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

EXTERIOR
ELEVATIONS

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ISSUE	DATE	DESCRIPTION
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Director of Planning and Zoning



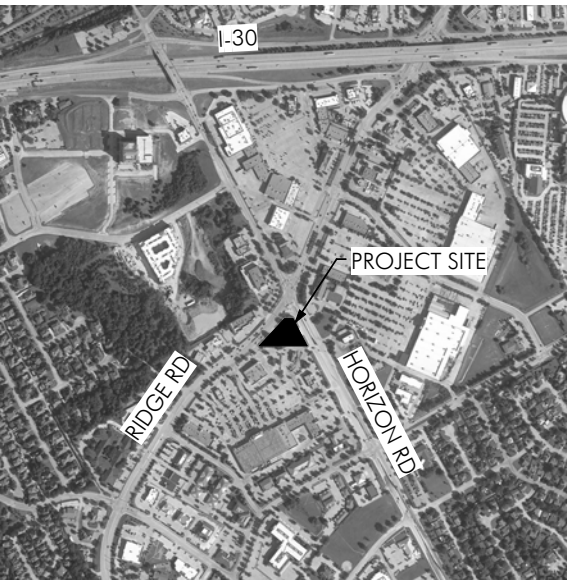
Boucher Design Group, LLC
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PRELIMINARY
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KROGER OUTLOT	
2901 RIDGE ROAD ROCKWALL, TX 75032	
SDI ROCKWALL HOLDINGS, LLC	
1800 WEST LOOP S. STE. 1850 HOUSTON, TX 77027; 713.892.5200	
DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

**BUILDING
PERSPECTIVES**



PROPOSED LAND USE: GENERAL RETAIL
CASE NO.: SP2020-004

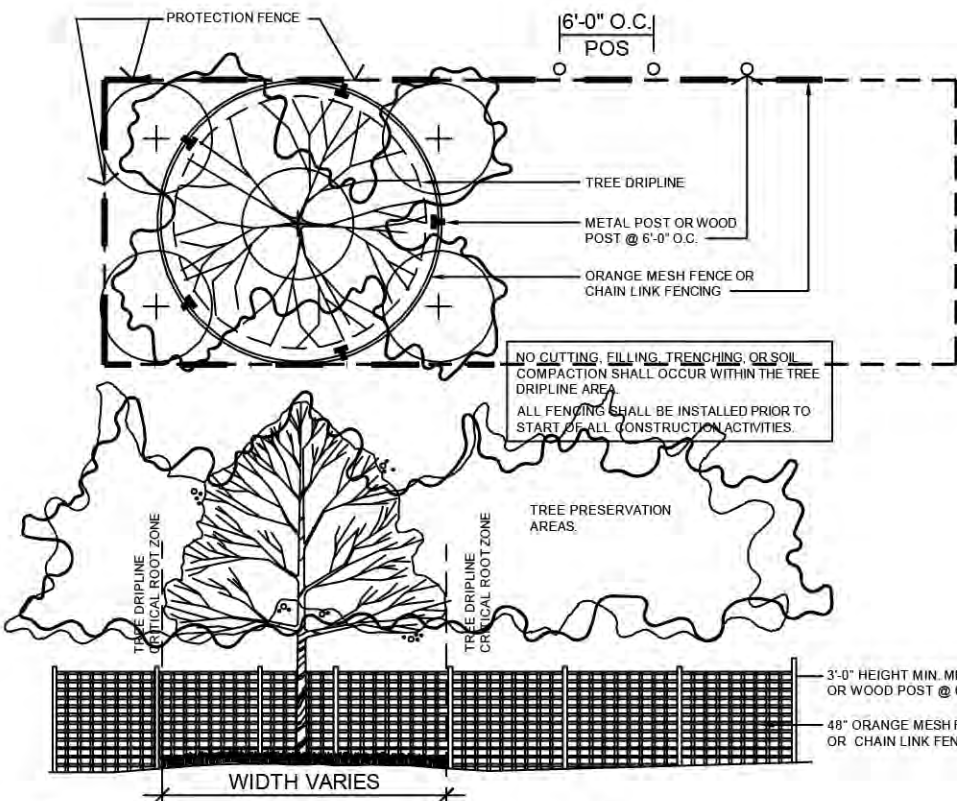


Landscape Requirements:

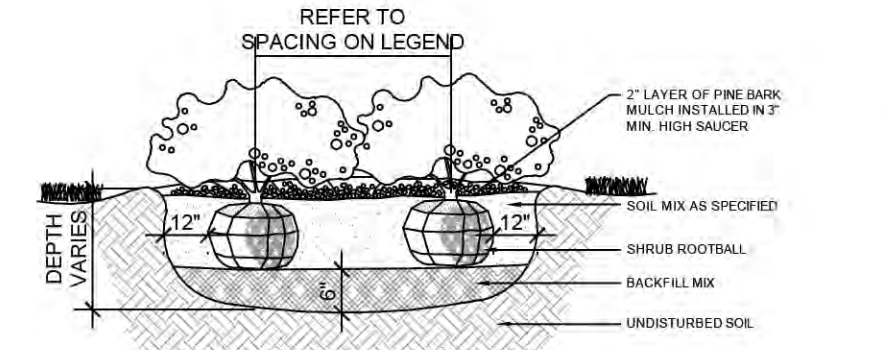
- Perform all work in accordance with all applicable laws, codes, and regulations required by authorities having jurisdiction over such work and provide all inspections and permits required by Federal, State, and local authorities in supply, transportation, and installation of materials.
- The contractor shall be responsible for the verification of all underground utility lines (telephone, gas, water, electrical, cable, TV, etc.) and all overhead utility easements prior to start of any planting works.
- All plant materials shall possess the following minimum qualities:
 - Plants shall be nursery grown in accordance with good horticultural practices under climatic conditions similar to those of the project for at least twelve months.
 - All plants shall be heavy, symmetrical, lightly knil, so trained or favored for development and appearance as to be superior in form, number of branches, compactness, and symmetry.
 - Plants shall be sound, healthy and vigorous, well branched, and densely foliated when in leaf. They shall be free of disease, insects, pests, eggs, or larvae.
 - All plants shall be true of species and variety and shall conform to measurements (caliper size, trunk heights, spread) as specified on the drawings.
 - Container grown stock when specified shall have grown in the container in which delivered for at least six months, but not over two years. Samples must prove no rootbound conditions exist.
 - Caliper measurements shall be taken at a point on the trunk six inches (6") above natural ground line for trees up to four inches (4") in caliper.
 - All trees shall be staked by a minimum of two metal "T" stakes for single trunk trees and three stakes for all multi-trunk trees.
- Planting mix shall be thoroughly mixed in the following proportions:
 - Prepared soil as backfill for shade and ornamental trees shall be: 5 part clay loam topsoil + 2 part compost + 1 part sharp sand + 4 Lbs. Commercial fertilizer per CY Or 10 Lbs. Organic fertilizer.
 - Prepared soil as backfill for shrubs and groundcovers and seasonal colors shall be: 1 part enriched mulch + 1 part compost bark mulch + 1 part enriched topsoil + 1 part No. 1 Bank Sand + 3 Lbs. Time-released fertilizer, 14-14-14 per CY or 8 Lbs. Organic fertilizer.
- Excavation work and Surface drainage works shall conform to the following requirements:
 - Test drainage of plant beds and plant pits by filling with water twice in succession. Conditions permitting the retention of water for more than 24 hours shall be brought to the attention of the Owner.
 - Work shall include the final responsibility for proper surface drainage of planted areas. Any obstructions on the site, or prior work done by another part, which precludes establishing proper drainage shall be brought to the attention of the Owner in writing.
 - Excavate each tree hole 18" deep plus the depth of the tree container size (15 gal. Or 30 gal. Or 65 gal. Or 100 gal.).
 - Excavate entire shrub bed to a depth of 6" plus the depth of the shrub container size (5 gal.) unless noted as being pit planted on landscape legend.
 - Excavate entire groundcover bed to a depth of 6" plus the depth of the groundcover container size (4" pot or 1 gal.).
- Additional work requirements on landscape areas:
 - Prior to installation of any planting works (trees, shrubs, groundcover and grass works), apply "Round Up" in all planting areas to eradicate all weed growths on site.
 - ADD ALTERNATE:** Install weed control barriers in all trees, shrub and groundcover planting areas. Weed barrier fabric shall be back polypropylene sheet 27 mils thick, 4 oz/s.y. grab tensile strength per ASTM D-4632; 90 lbs. (machine direction) 50 lbs.(cross machine direction). Provide DeWitt "Weed Barrier" or approved substitute.
 - Use **"Shovel Edge"** to separate all plant beds from grass areas.
 - Spread a minimum two inch layer of pine bark mulch overall shrub and groundcover bed areas.
- Landscape maintenance work by the Landscape Contractor after final acceptance shall include the following:
 - The maintenance period shall commence upon inspection and approval at Final Acceptance and shall be for a period of Sixty Days (60).
 - The landscape contractor shall coordinate the watering program for all the landscape work with the Owner.
 - Maintenance of new plantings shall consist of watering, cultivating, weeding, mulching, restaking, tightening and repair of guys, resetting plants for proper grades or upright position, and furnishing and application of pesticides/herbicides; sprays, and invigorants as are necessary to keep plantings free of insects and disease and in a thriving condition.
- Warranty Periods, Plant Guarantees, and Replacements:
 - Planting supplied shall be warranted to remain alive and healthy for a period of twelve months (12) after the date of Final Acceptance by Owner. Plants in an impaired, dead, or dying condition after initial acceptance or within 12 months shall be removed and replaced immediately to the satisfaction of the Owner.

Special Notes for Protection of Existing Trees:

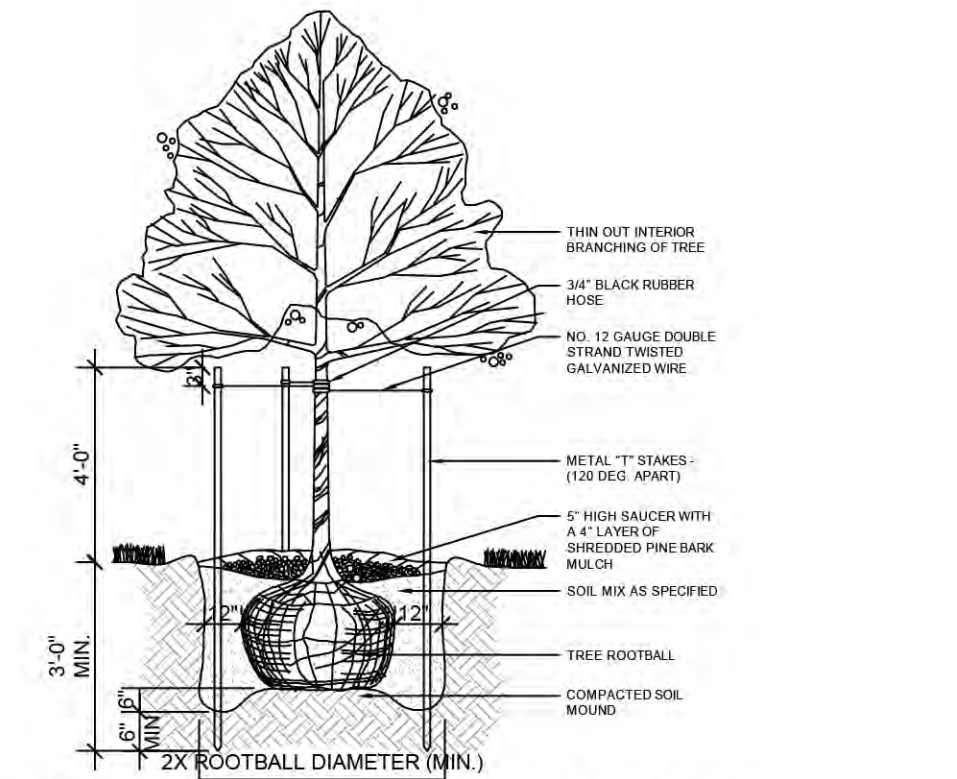
- Tree protection fencing shall be installed to eliminate activities detrimental to trees including but not limited to the following:
 - Soil compaction in the critical root zones resulting from heavy equipments, vehicular or excessive pedestrian traffic or storage of equipments or materials.
 - Root disturbance due to cuts, fills, or trenching works.
 - Wounds to exposed roots, trunks or limbs by mechanical equipments.
 - Other activities such as chemical storage, cement truck cleaning, fire, etc. are not acceptable or allowed around existing trees designated to remain on site.
- Location and types of tree protection devices:
 - Tree protection devices are to be installed to completely surround the critical root zones (tree dripline) of all trees to be preserved.
 - Tree protection fencing shall consists of chain link fencing or accepted substitutes (orange colored fabric mesh membrane). In addition to fencing, where tree trunks are in jeopardy of being damaged by equipments, 2x4 inch boards may be required to be strapped around the trunks of trees.
 - Tree protection fence may be installed around a grouping of existing trees for better control.
- All tree protection fencing shall be installed prior to any clearing, grubbing or grading. Tree protection fences must remain in functioning condition throughout all phases of the site development/construction.
- The contractor shall provide Class One Tree works for all trees designated to remain on the project site. Work shall include required root pruning; removal of dead/dying branches, trimming/thinning out of tree branches; repair of tree cavities and other tree damages. Trees shall be fertilized annually. A 3-1-1 ratio of nitrogen, phosphorus and potassium containing slow release, non-burning nitrogen should be applied according to manufacturer's instructions.
- All existing trees to remain shall be maintained by a certified tree arborist.
- During construction, no excess soil, additional fill, equipment, liquids or construction debris shall be placed inside the protective barrier, upon the root protection zone, nor shall any soil be removed from within the barrier.
- The proposed finished grade and elevation of land within the root protection zone of any tree to be preserved shall not be raised or lowered more than one inch. Well and retaining methods are allowed outside the root protection zone and shall be done in conformance with the Texas A & M University, Extension Landscape Horticulture, Protecting Existing Landscape Trees from Construction Damage Due to Grade Changes", Everett E. Janne and Douglas F. Welch, PhD, authors.



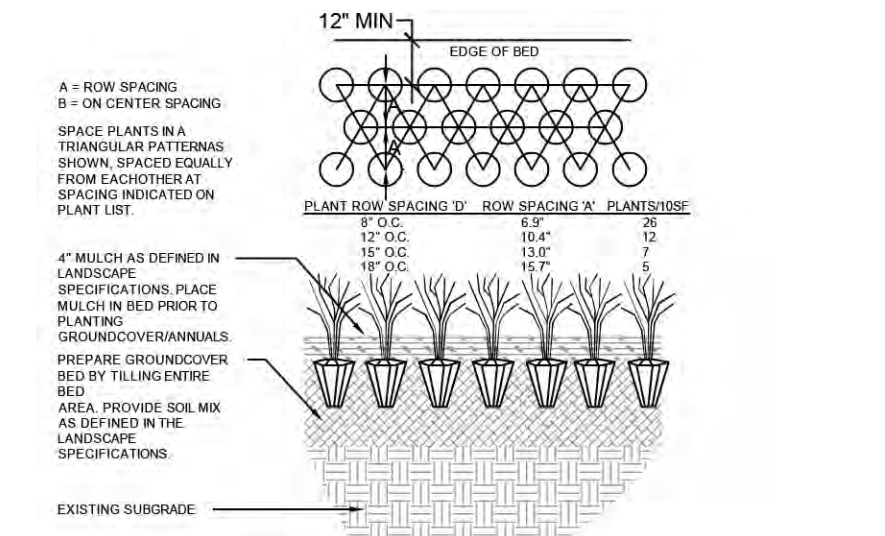
A L1.1 TREE PROTECTION DETAIL
SCALE: NOT TO SCALE



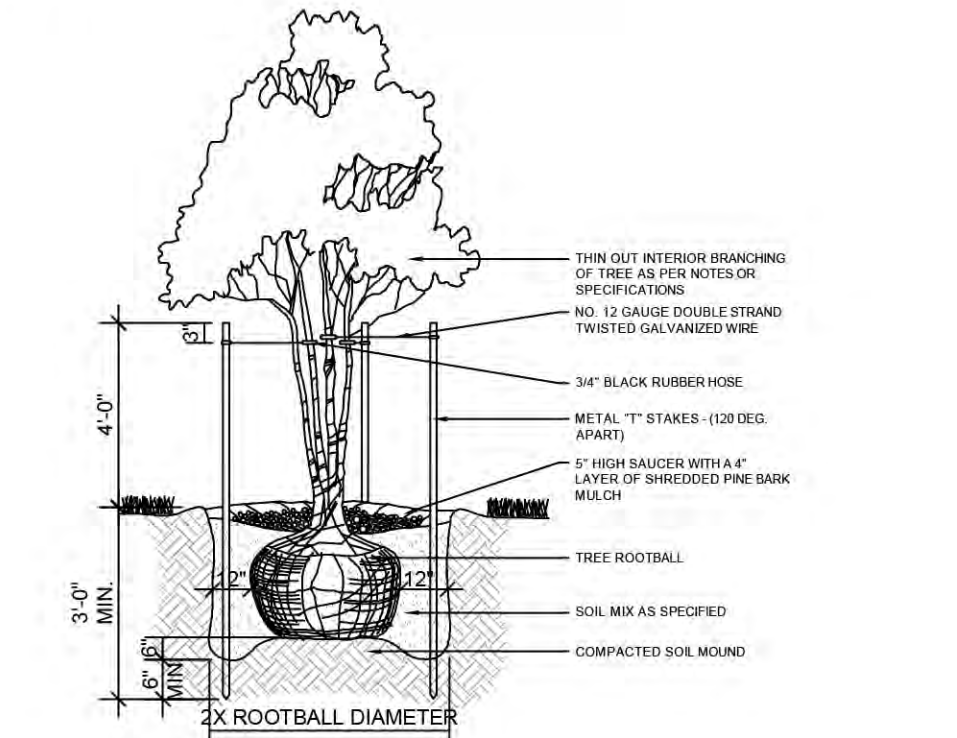
D L1.1 SHRUB PLANTING
SCALE: NOT TO SCALE



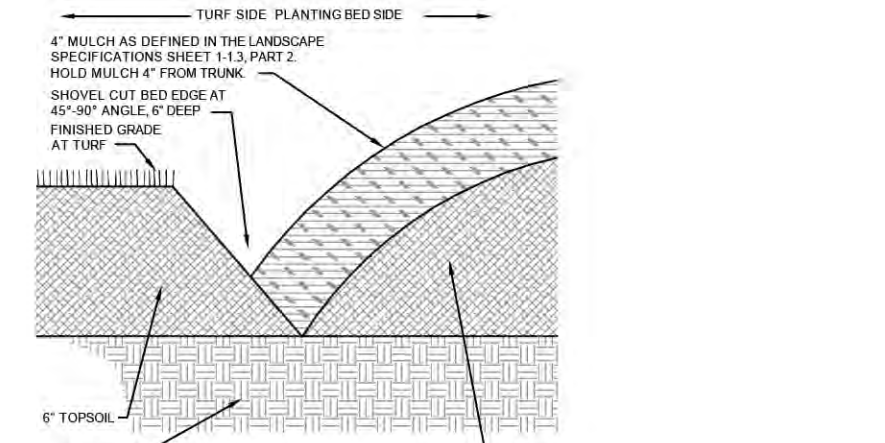
B L1.1 SINGLE-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



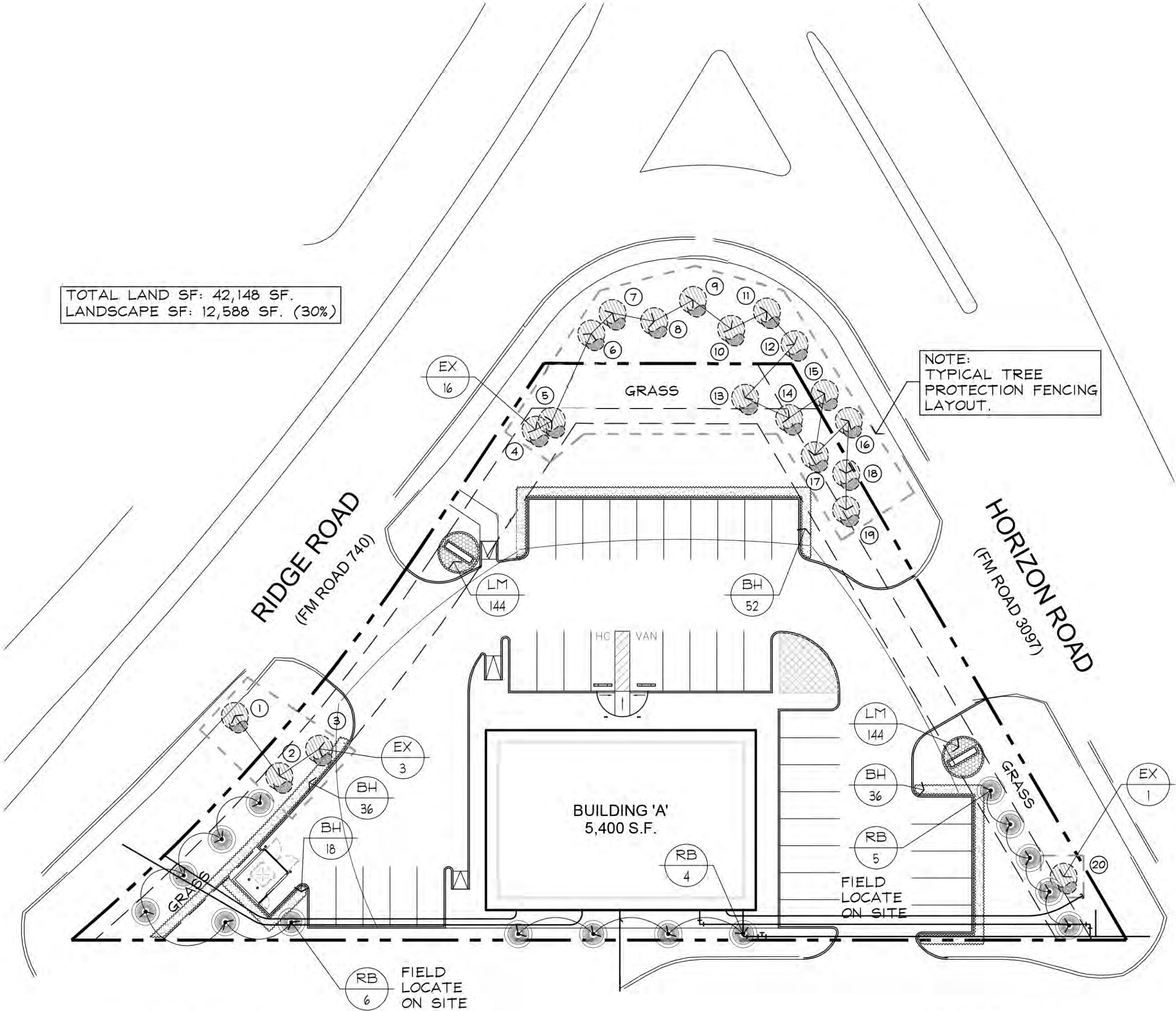
E L1.1 GROUNDCOVER PLANTING
SCALE: NOT TO SCALE



C L1.1 MULTI-TRUNK TREE PLANTING
SCALE: NOT TO SCALE



F L1.1 SHOVEL CUT BED EDGE
SCALE: NOT TO SCALE



Landscape Legend:

Symbolic Name	Quantities (Verify)	Botanical Name	Common Name	Size and Plant Requirements
EX	20			Existing trees to be remain and be protected by tree fencing as shown. Refer to Tree Inventory Table for tree type and caliper sizes. Refer to Tree Preservation requirements this sheet.
RB	15	Cercis Canadensis	Texas Redbud	2" cal. 30 gal. container, 6' to 7' ht. Tree Form.
BH	142	Ilex Burfordi	Dwarf Burford Holly	5 gal. planted at 36" o.c. single row.
LM	288	Liriope Muscari	Big Blue Liriope	1 gal. planted at 12" o.c. triangularly spaced.
Grass	Verify SF.	Stenotaphrum Secundatum	St. Augustine 'Raleigh'	Solid Sod for all areas within limits of this project plus all right of way areas. All areas to be grassed shall be cleaned up of all construction debris and shall be fine graded to adhere to civil grading/drainage plan.

NOTE: The landscape irrigation system will meet requirements of the UDC on sheet No. L1.1 (Subsection 05.03.G, Art. 08, UDC).

LANDSCAPE CALCULATIONS:

- SITE AREAS: 40,148 SF.
- LANDSCAPE AREAS REQUIRED: 20% OR 8,030 SF.
- LANDSCAPE AREAS PROVIDED: 31% OR 12,588.00 SF.
- TOTAL BUILDING SF: 5,400.00 SF.
- TOTAL IMPERVIOUS AREAS: 27,550.00 SF.
- TOTAL PARKING REQUIRED: 37 PARKING PROVIDED: 37
- PLANTING REQUIREMENTS:

HORIZON ROAD @ 222.18 LF /50 = 5 CANOPY (4" MIN) + 5 ACCENT TREES REQUIRED (2" MIN) = 30" TOTAL CALIPER INCHES REQUIRED
12 EXISTING CANOPY TREES PRESERVED (#9-20) + 5 ACCENT TREES PROVIDED = 171" TOTAL CALIPER INCHES PROVIDED

RIDGE ROAD @ 250 LF /100 = 5 CANOPY (4" MIN) + 10 ACCENT TREES REQUIRED (2" MIN) = 40" TOTAL CALIPER INCHES REQUIRED 7 EXISTING CANOPY TREES PRESERVED (#2-8) + 4 ACCENT TREES PROVIDED = 87" TOTAL CALIPER INCHES PROVIDED

Owner's Responsibility For Maintenance
Client acknowledges and agrees that proper Project maintenance is required after the Project is complete. A lack of or improper maintenance in areas, such as, but not limited to, operation and maintenance of automatic irrigation system, all site drainage and all planting materials maintenance may result in damage to property or persons. Client further acknowledges that he is solely responsible for the results of any lack of or improper maintenance.

Landscape Contractor's Responsibilities
All drainage (surface and subsurface) of all landscape areas within the project limits shall be the responsibility of the installing landscape contractor and landscape maintenance company. All grading of areas along all building areas must absolutely have positive slope away from building. In no case shall any plant bed be constructed along edge of building that will impede water flow away from building. If planting beds are located at edges of building, landscape contractor shall make sure that these areas drain properly (surface and subsurface-wise). Contractor shall install moisture barrier along building as necessary to keep water from penetrating underneath building slab.

"REFER TO FINISHED GRADES SHOWN ON PROJECT CIVIL GRADING PLAN. IT WILL REPRESENT FINAL ELEVATIONS. CARE SHOULD BE TAKEN BY THE LANDSCAPE CONTRACTOR NOT TO INCREASE THESE FINISHED GRADES WITH LANDSCAPING OR OTHER ALTERATIONS. THE THICKNESS OF SOD, GRASS AND LANDSCAPING MATERIALS SHALL BE DEDUCTED FROM THE FINISHED GRADE ELEVATIONS IN THESE CIVIL GRADING PLANS IN ORDER TO DETERMINE THE GROUND ELEVATIONS DURING CONSTRUCTION."

ISSUE	DATE	DESCRIPTION
	03/11/2020	ISSUE FOR PERMIT
	03/20/2020	SITE PLAN SUBMITTAL
	04/20/2020	CITY COMMENTS

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group LLC
Members A.I.A.
6802 Mapleridge, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644
www.bdgap.com



Wong & Associates, Inc.
P.O. Box 2028 Bellaire, Texas 77402-2028
Tel. 713-777-9138 Cell 713-557-9098
Firm's Address: 6802 Mapleridge, Suite 200, Bellaire, Texas 77401

KROGER OUTLOT

2901 Ridge Road
Rockwall, Texas 75082

SDI Rockwall Holdings, LLC

1800 West Loop South
Suite 1850
Houston, Texas 77027

DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	EW/SR
CHECKED BY	EW

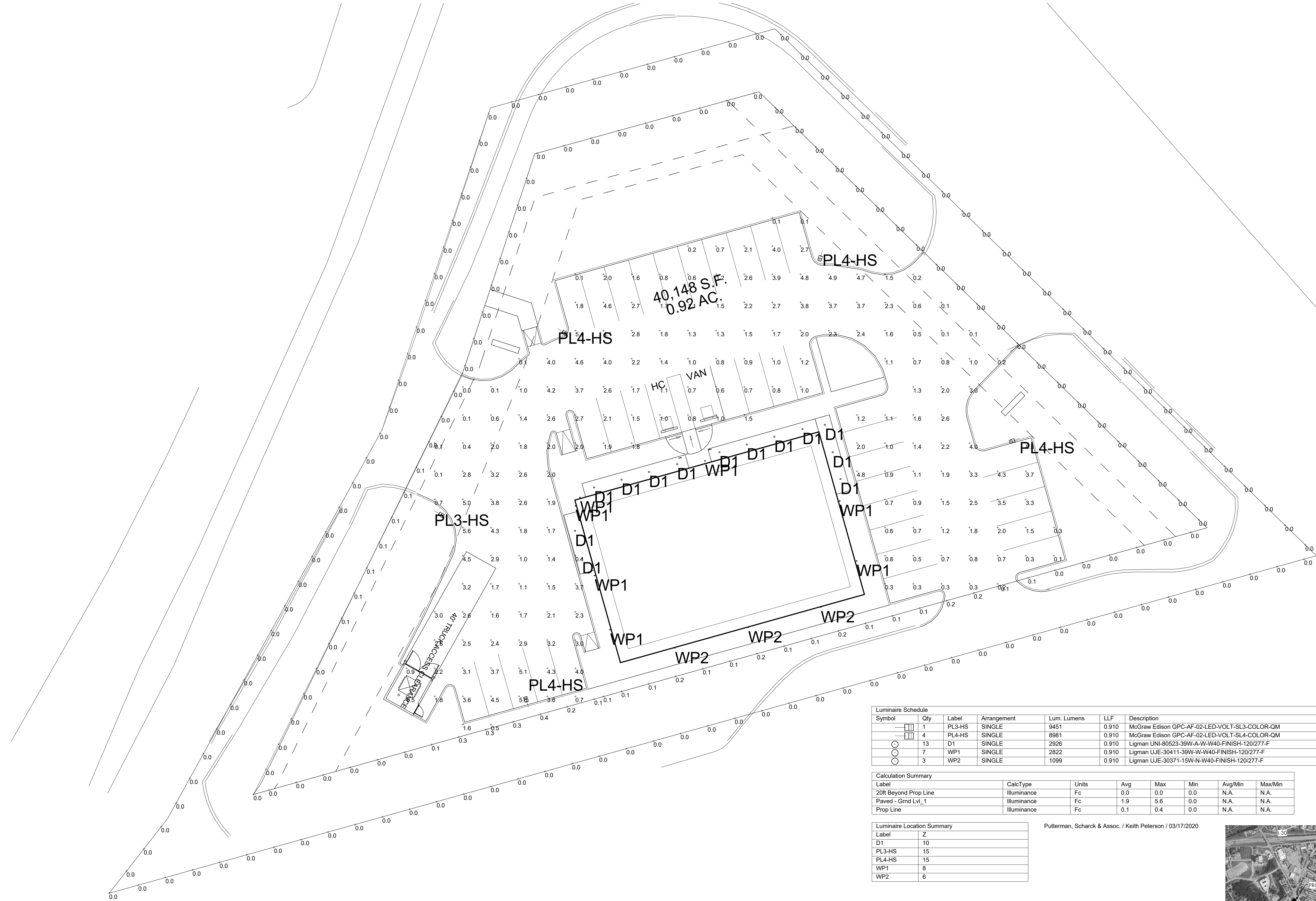
LANDSCAPE PLAN

1 LANDSCAPE PLAN
SCALE: 1" = 30'-0"

L1.1

C:\Users\jarnel\Documents\1702400 ROCKWALL TEXAS PAD BUILDING_arnel.rvt

4/22/2020 11:27:34 PM



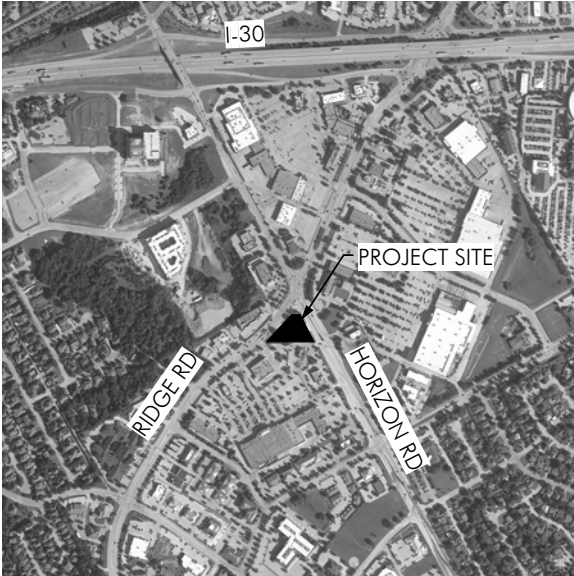
Luminaire data is obtained according to IES procedures under laboratory conditions. Field results may differ from computer model due to many factors, including: ambient temperature, line voltage variations, lamp performance, installation, reflectances, and other site specific conditions.

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Lum. Lumens	LLF	Description
	1	PL3-HS	SINGLE	9451	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL3-COLOR-QM
	4	PL4-HS	SINGLE	8981	0.910	McGraw Edison GPC-AF-02-LED-VOLT-SL4-COLOR-QM
	13	D1	SINGLE	2926	0.910	Ligman UNI-80523-39W-A-W-W40-FINISH-120/277-F
	7	WP1	SINGLE	2822	0.910	Ligman UJE-30411-39W-W-W40-FINISH-120/277-F
	3	WP2	SINGLE	1099	0.910	Ligman UJE-30371-15W-N-W40-FINISH-120/277-F

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20ft Beyond Prop Line	Illuminance	Fc	0.0	0.0	0.0	N.A.	N.A.
Paved - Gmd Lvl_1	Illuminance	Fc	1.9	5.6	0.0	N.A.	N.A.
Prop Line	Illuminance	Fc	0.1	0.4	0.0	N.A.	N.A.

Luminaire Location Summary	
Label	Z
D1	10
PL3-HS	15
PL4-HS	15
WP1	8
WP2	6

Putterman, Scharck & Assoc. / Keith Peterson / 03/17/2020



PROPOSED LAND USE: GENERAL RETAIL
CASE NO: SP2020-004



ISSUE	DATE	DESCRIPTION
	03/20/20	SITE PLAN SUBMITTAL
	04/21/20	CITY COMMENTS
	04/22/20	CITY COMMENTS

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, this ____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning



Boucher Design Group, LLC
Members A.I.A.
6802 Mapleridge Street, Suite 200
Bellaire, Texas 77401
Tel. 713.785.3644; www.bdgap.com

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PRELIMINARY
MAY NOT BE USED FOR
REGULATORY APPROVAL,
PERMITTING, OR
CONSTRUCTION MARC E.
BOUCHER, REGISTERED
ARCHITECT, TEXAS NO.
14291, EXPIRES 05-31-20

KROGER OUTLOT	
2901 RIDGE ROAD ROCKWALL, TX 75032	
SDI ROCKWALL HOLDINGS, LLC	
1800 WEST LOOP S. STE. 1850 HOUSTON, TX 77027; 713.892.5200	
DATE	03/20/20
PROJECT NO.	1702400
DRAWN BY	AK
CHECKED BY	JM

PHOTOMETRICS

P1.0
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UNI-80523

Nikon 3 Round Ceiling Downlight

LIGMAN
LIGHTING USA



Construction

Aluminum Casting

Less than 0.1% copper content - Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Ceiling-recessed exterior downlights.

Modern, clean and powerful downlighting family providing the best resilient under-canopy solutions in the marketplace.

A compact recessed exterior downlight with a round or square front frame design. Options of stainless steel or powder coated aluminum front frame. The luminaires are designed for use in interior and exterior applications. This fixture is totally waterproof. This means that the fixture can be exposed to the elements from above as well as below.

This luminaire is manufactured with integrated heat sinks that provides exceptional cooling and heat dissipation ensuring long LED life.

This fixture can also be provided with a concrete pour box for casting into concrete slabs, please see options below.

Power is provided to the luminaire through a single PG9 watertight cable gland and 4ft of Outdoor Submersible #18/3 SOOW 600V power cable. Remote mounted transformer. Includes A80191 driver enclosure box.

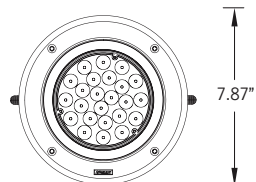
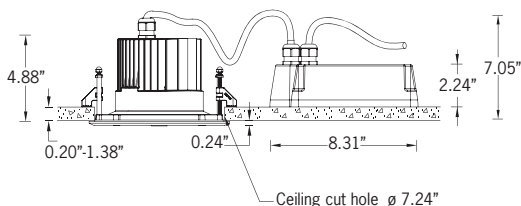
All Ligman fixtures can be manufactured using a special pre-treatment and coating process that ensures the fixture can be installed in natatoriums as well as environments with high concentrations of chlorine or salt and still maintain the 5 year warranty. For this natatorium rated process please specify NAT in options. Not suitable for saunas and steamrooms.

39w LED 4299 Lumens

IP65 • Suitable For Wet Locations

IK08 • Impact Resistant (Vandal Resistant)

Weight 5 lbs (A) 5.7 lbs (S)



Ceiling Cut ø7.24"

Nikon Product Family

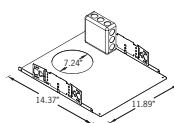


UNI-80501 [4.7"]

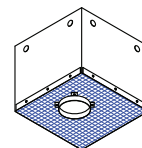
UNI-80511 [4.7"]

UNI-80531 [7.8"]

Additional Options (Consult Factory For Pricing)



RT
Rough in Tray



CPB
Concrete Pour Box



HCL
Honeycomb Louvre



PROJECT				DATE	
QUANTITY		TYPE		NOTE	

ORDERING EXAMPLE || UNI-80523 - 39w - A - N - W30 - 03 - 120/277v

UNI-80523						
	LAMP	FRAME	BEAM	LED COLOR	FINISH COLOR	VOLTAGE
	39w LED 4299lm	S - Stainless Steel A - Aluminum (CHOOSE FINISH COLOR)	N - Narrow 15° M - Medium 26° W - Wide 45°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify

ADDITIONAL OPTIONS			

- DIM - 0-10v Dimming

NAT - Natatorium Rated

F - Frosted Lens

EMR - Remote Inverter

A80191 - Remote Driver Box
- RT - Rough in Ceiling Tray

CPB - Concrete Pour Box

SSG - Stainless Steel Glands

HCL - Honeycomb Louvre

AMB - Turtle Friendly Amber LED

DESCRIPTION

The Sure-Lites Architectural Emergency Light is designed to provide superior illumination while blending into the surrounding space. The housing is constructed of die-cast aluminum with an integral refractive polycarbonate lens and advanced optical design, which in conjunction with energy-efficient, long-lasting LEDs provides maximum path of egress lighting performance. The Sure-Lites Architectural Emergency Light is wet listed for temperatures between -30°C and 50°C (-22°F and 122°F). AEL2 has an always on mode and is available with Eagle Eye self diagnostics.

Catalog #		Type
Project		
Comments		Date
Prepared by		

SPECIFICATION FEATURES

Electrical

- Universal voltage input from 100 through 300 VAC; 50-60 Hz
- Line-latching
- Solid-state Voltage Limited Charger
- Low-Voltage Disconnect
- Overload/Short Circuit Protection
- Test Switch/Power Indicator Light
- Fully Recharged in 24 hours
- Self diagnostics

Housing Construction

- Die-cast Aluminum Housing
- Universal Pattern Knockouts on rear of housing for direct mounting to junction box
- 1/2" Threaded Conduit Access on top surface
- Powder Coat Paint Finish
- UV Stable Polycarbonate Lens
- Silicone Gaskets

Code Compliance

- Not for sale in California
- UL924 Listed
- UL Outdoor Wet Location Listed (suitable for wet and damp locations)
- Life Safety NFPA 101
- NEC/OSHA
- Most State and Local Codes
- City of Chicago Code
- New York City Code

Battery

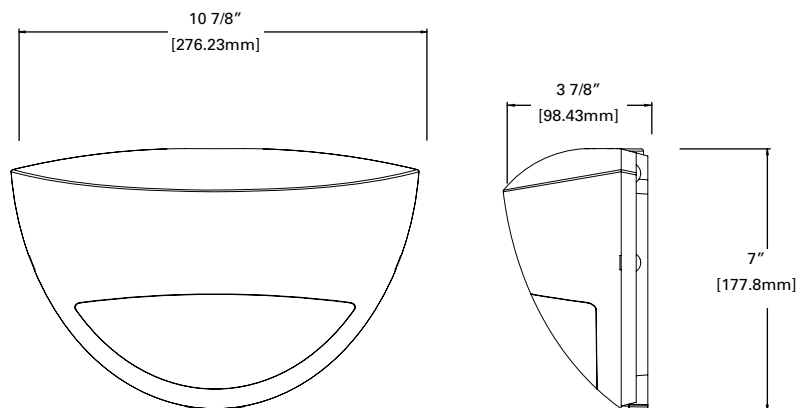
- Sealed Nickel Cadmium
- Maintenance free, long life
- Full Recharge Time, 24 hrs

Warranty

- Unit: 5-Year
- Battery: 7-year pro-rata

Lamp Data

- 10 High Power LEDs
- Two color temperatures: 3000K and 5000K



ORDERING INFORMATION

Family	Color Temperature	Housing Finish	Options
AEL2 = Architectural Emergency Light 2	31 = 3000K Ave 46 = 5000K Ave	--- = Silver WH = White BK = Black BZ = Bronze	--- = No Self Diagnostics SD = Eagle Eye Self Diagnostics



AEL 2 ARCHITECTURAL EMERGENCY LIGHT SERIES 2

DIE-CAST ALUMINUM
SURFACE MOUNT
SEALED NICKEL CADMIUM
BATTERY
LED LAMPS
EAGLE EYE SELF DIAGNOSTICS
ALWAYS ON FEATURE
EMERGENCY LIGHTING



TOTALLY PREDICTABLE
RELIABILITY.

ENERGY DATA

Sealed Nickel Cadmium Battery

Input Current:
(Used as emergency light only):
120V = 2.0 Watts
277V = 2.3 Watts

Input Current:
(Used as dual purpose
emergency light &
always-on light fixture):
120V=5.2 Watts
277V=5.0 Watts

TECHNICAL DATA**Lamps**

The AEL2 utilizes long-lasting LEDs (standard) which provide maximum illumination along the emergency path of egress.

Housing

Die-cast aluminum with a powder coat painted finish. Universal pattern knockouts are located on the back housing for direct mounting to the junction box. Threaded conduit entry provided on the top surface of the housing. UV stable, polycarbonate lens and vacuum-metallized reflector provide efficient optical control.

Electronics

Dual voltage input 120/277 VAC is standard. Nickel cadmium battery is standard. All battery and electrical components are enclosed within the housing.

Line-Latched

Sure-Lites line-latched electronic circuitry makes installation easy and economical. A labor efficient AC activated load switch prevents the lamps from turning on during installation to a non-energized AC circuit. Line-latching eliminates the need for a contractor's return to a job site to connect the batteries when the building's main power is turned on.

Self Diagnostics

The self-diagnostic software will automatically perform all tests required by UL924, and NFPA101. The system indicates the status of the emergency light at all times using the LED indicator. A 90 minute battery power (emergency mode) simulation test will occur once every 12 months. A 30 second battery power simulation test will occur every 30 days.

The Solid-State microprocessor based system has the ability to accurately detect and warn of system failures, plus it incorporates all of the standard electronic features that sets Sure-Lites apart from its competition. Eagle Eye self diagnostic software automatically performs all testing required by the NFPA 101 Life Safety Code and systematically calibrates itself in the field, reducing installation labor and eliminating manual calibration errors.

Solid-State Charger

Supplied with a 120/277 VAC, voltage regulated solid-state charger, the battery is recharged immediately upon restoration of AC current after a power failure. The charge circuit reacts to the condition of the battery in order to maintain peak battery capacity and maximize battery life. Solidstate construction recharges the battery in 24 hours following a power failure in accordance with UL 924.

Solid-State Transfer

The emergency light incorporates solid-state switching which eliminates corroded and pitted contacts or mechanical failures associated with relays. The switching circuit is designed to detect a loss of AC voltage and automatically energizes the lamps using DC power. Upon restoration of AC power, the DC power will be disconnected and the charger will automatically recharge the battery.

Low-Voltage Disconnect

When the battery's terminal voltage falls, the low-voltage circuitry disconnects the lighting load. The disconnect remains in effect until normal utility power is restored, preventing deep battery discharge.

Overload and Short Circuit Protection

The solid-state overload monitoring device in the DC circuit disconnects the lamp load from the battery should excessive wattage demands be made and automatically resets when the overload or short circuit is removed. This overload current protective feature eliminates the need for fuses or circuit breakers for the DC load.

Test Switch/Power Indicator Light

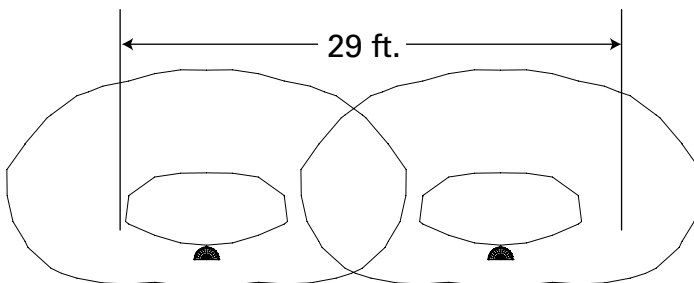
A test switch located on the inside cover of the unit permits the activation of the emergency circuit for a complete operational systems check. The Power Indicator Light provides visual assurance that the AC power is on.

Sealed Nickel Cadmium Battery

Sure-Lites sealed nickel cadmium batteries are maintenance-free with a life expectancy of 15 years. The sealed rechargeable nickel cadmium battery offers high discharge rates and stable performance over a wide range of temperatures. The specially designed resealable vent automatically controls cell pressure, assuring safety and reliability. This battery is best suited for harsh ambient temperatures because the electrolyte is not active in the electrochemical process.

Warranty

The Sure-Lites Architectural Emergency Light is backed by a firm five (5) year warranty against defects in material and workmanship. Maintenance-free, long-life, sealed nickel cadmium batteries carry a seven-year pro-rata warranty.

PHOTOMETRICS

SELF DIAGNOSTIC TESTING OPERATIONS

The Sure-Lites Eagle Eye Self Diagnostics is continuously monitoring your emergency fixture and will signal any failure through the 3 color indicator LED.

Initial Operation

When the unit is first powered up, it will go into a 24 hour fast charge, indicated by the indicator LED pulsing green. Once the unit has fully charged, it will perform a self calibration, after which the LED will change to steady green, indicating the unit is fully charged and float charging the battery to maintain readiness.

Automatic Testing

The unit will perform a battery capacity, lamp/LED, and charge circuit test every 30 days for 30 seconds. During this time, the indicator LED will change to a steady yellow. It will perform a full battery capacity (90 minute) test once per year. During this time, the indicator LED will change to a blinking yellow.

Manual Testing

- **10 Second "Installation" test** – Press and release the test button once during fast charge (blinking green) to initiate a 10 second quick test. The sign will switch to emergency mode for 10 seconds allowing the installer to verify proper installation of the unit, and the LED indicator will turn solid yellow.
- **30 Second Test** - Press and release the test button once during float charge (steady green). The indicator LED will turn steady yellow to indicate the unit is performing a 30 second test of the batteries and lamps/LEDs.
- **90 Minute Test** - Press and release the test button a second time during a 30 second test (steady yellow) to change to a 90 minute test. During this test, the LED indicator will change to blinking yellow, and the circuit will perform a full battery capacity, charge circuit, and LED test.
- **Canceling Test** – Press and release the test button during the 90 minute test (flashing yellow) to return the fixture to its original state (fast charge or float charge)

Laser Test

The LEMSD is equipped with a Laser Test function, that allows the unit to be manually tested without the need to physically press the test button. Shining a laser pointer in the hole marked "LASER TEST" on the bottom of the unit has the same effect as a press and release of the test button.

Clearing Failure Codes










- A battery failure (LED two blink red) can be cleared by replacing the battery. Disconnecting the battery and AC power, or performing a full 90 minute discharge, will reset the error code, however, it will return if the battery is faulty
- Charge Circuit (LED three blink red) and lamp/LED failure (LED four blink red) will clear when the unit successfully passes a manual or automatic 30 second test.

Indicators

- LED Off - No power to unit, emergency mode.
- LED Steady Green - Unit is fully charged and is float charging the battery to maintain readiness.
- LED Green Pulse - Unit is in a 24 hour fast charge of the battery.
- LED Two Blink Red - Battery has failed a capacity test, or the battery is disconnected. See "Clearing Failure Codes" above.
- LED Three Blink Red - Battery charge circuit has failed. See "Clearing Failure Codes" above.
- LED Four Blink Red - Lamps have burned out, or on an EXIT/Combo, 50% or more of the LEDs have failed. See "Clearing Failure Codes" above.
- LED Steady Yellow - 30 second test or 10 second quick test (Fast Charge only).
- LED Blinking Yellow - 90 minute test.

Maintenance

None required. Replace the batteries as needed according to ambient conditions. However, we recommend that the equipment be tested regularly in accordance with local codes.

		 OFF - EMERGENCY MODE / POWER OFF	 STEADY BLINK YELLOW - 90 MINUTE TEST
 STEADY BLINK GREEN - FAST CHARGE		 2 BLINK RED - BATTERY FAILURE	
 STEADY GREEN - FULL / FLOAT CHARGE		 3 BLINK RED - CHARGE CIRCUIT FAILURE	
 STEADY YELLOW - QUICK TEST		 4 BLINK RED - LAMP / LED FAILURE	

UTA-31873

Tango 30 Square Asymmetrical Downlight

LIGMAN
LIGHTING USA



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

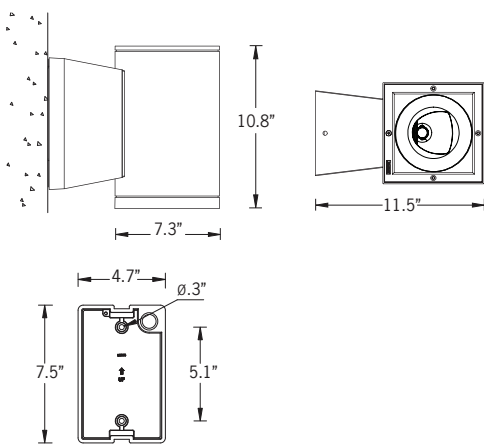
L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

42w LED 3418 Lumens

IP65 • Suitable For Wet Locations

IK08 • Impact Resistant (Vandal Resistant)

Weight 14.3 lbs



Mounting Detail

Tango Product Family



UTA-31861



UTA-80551



UTA-80561



UTA-20011



UTA-20031



UTA-20731



UTA-20732

Circular or square form technical up & down-light wall range. Completely tailorable wall-mounted direct/indirect optical lighting solutions for perfect task or architectural lighting.

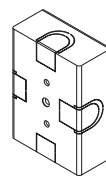
Wall luminaires with a selection of light distributions and LED wattages with downward light distributions. The Tango is unique as it is available with Type II, III & IV light distribution options that facilitates wider spacing and even light distribution between the light fixtures.

Spacings of up to 40' on center, and a 14' mounting height with a 2 fc average can be achieved using the type II optic. This provides higher energy saving and reduced installation costs.

The Tango 31 cylindrical or Tango 32 square up-down versions can be manufactured using different type beam distributions for the up and down optics. Integral electronic control gear. Mounting plate for 3" and 4" junction box is provided with the fixture.

Matching surface mount conduit boxes are available as an option. Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit
Decorative Trim



RPA
Round Pole Adapter



ACL
Anti Glare Louvre



PROJECT					DATE	
QUANTITY		TYPE		NOTE		

ORDERING EXAMPLE || UTA - 31873 - 42w - AS - W30 - 02 - 120/277v - Options

UTA-31873					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
42w COB 3418 Lumens	AS - Asymmetrical Beam 46"x56"	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

ADDITIONAL OPTIONS			

- NAT - Natatorium Rated

SCE - Surface Conduit Decorative Trim

DIM - 0-10v Dimming

F - Frosted Lens

AGL - Anti Glare Louvre
- EMG - Emergency Battery Pack

RPA - Round Pole Adapter

HGT - Custom Height

AMB - Turtle Friendly Amber LED

UJE-30371

Jet 32 Square Surface



Construction

Aluminum

Less than 0.1% copper content – Marine Grade 6060 extruded & LM6 Aluminum High Pressure die casting provides excellent mechanical strength, clean detailed product lines and excellent heat dissipation.

Pre paint

8 step degrease and phosphate process that includes deoxidizing and etching as well as a zinc and nickel phosphate process before product painting.

Memory Retentive -Silicon Gasket

Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management

LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermals below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Surge Suppression

Standard 10kv surge suppressor provided with all fixtures.

BUG Rating

B1 - U0 - G0

Finishing

All Ligman products go through an extensive finishing process that includes fettling to improve paint adherence.

Paint

UV Stabilized 4.9Mil thick powder coat paint and baked at 200 Deg C. This process ensures that Ligman products can withstand harsh environments. Rated for use in natatoriums.

Hardware

Provided Hardware is Marine grade 316 Stainless steel.

Anti Seize Screw Holes

Tapped holes are infused with a special anti seize compound designed to prevent seizure of threaded connections, due to electrolysis from heat, corrosive atmospheres and moisture.

Crystal Clear Low Iron Glass Lens

Provided with tempered, impact resistant crystal clear low iron glass ensuring no green glass tinge.

Optics & LED

Precise optic design provides exceptional light control and precise distribution of light. LED CRI > 80

Lumen - Maintenance Life

L80 /B10 at 50,000 hours (This means that at least 90% of the LED still achieve 80% of their original flux)

Cylindrical or rectangular form surface wall-mounted downlight. High performance, high output and numerous options ensure Jet can be configured for any application.

Wall luminaires with a selection of light distributions and LED wattages, that include; narrow, medium, wide, very wide and elliptical light distributions. The Jet offers a variety of beam spread options that facilitates wider spacing and even light distribution between the light fixtures. The up/down light versions can be manufactured using different beam spreads for the up and down optics as well as different wattages upon request.

Mounting plate for 3" junction box is provided with the fixture. A 4" junction box mounting plate is available as an option, please specify. Matching surface mount conduit boxes are available as an option.

Custom round pole adapters can be manufactured to suit specific pole diameters for column mounting applications. Please contact the factory for more information.

For the Square downlight option, see Jet 32, 34 and 52. For type II, III & IV distributions, see Tango 29 to 32 surface wall luminaires.

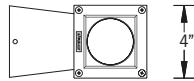
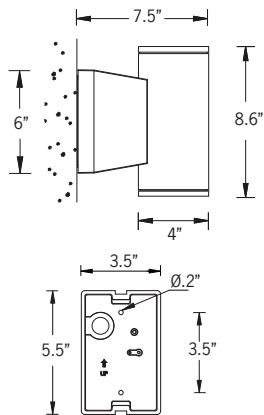
For RGBW options, see Jet 51 to 54.

15w COB 1107 Lumens

IP65 • Suitable For Wet Locations

IK08 • Impact Resistant (Vandal Resistant)

Weight 5.7 lbs



Mounting Detail

Jet Product Family



UJE-30351 [4"]



UJE-30393 [6.3"]



UJE-30411 [6.3"]



UJE-80031 [4"]



UJE-80041 [4"]



UJE-80051 [6.3"]



UJE-80061 [6.3"]



UJE-10555



UJE-10565



UJE-10571



UJE-10581



UJE-20001



UJE-20002



UJE-95081 [4"]



UJE-95091 [4"]

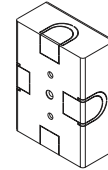


UJE-95111 [6.3"]

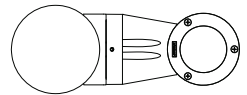


UJE-95121 [6.3"]

Additional Options (Consult Factory For Pricing)



SCE
Surface Conduit Decorative Trim



RPA
Round Pole Adapter



UJE-30371

Jet 32 Square Surface



PROJECT					DATE	
QUANTITY		TYPE		NOTE		

ORDERING EXAMPLE || UJE - 30371 - 15w - M - W30 - 02 - 120/277v - Options

UJE-30371					
LAMP	BEAM	LED COLOR	FINISH COLOR	VOLTAGE	
15w COB 1107 Lumens	N - Narrow 20° M - Medium 24° W - Wide 36° VW - Very Wide 71°	W27 - 2700K W30 - 3000K W35 - 3500K W40 - 4000K	01 - BLACK RAL 9011 02 - DARK GREY RAL 7043 03 - WHITE RAL 9003 04 - METALLIC SILVER RAL 9006 05 - MATTE SILVER RAL 9006 06 - LIGMAN BRONZE 07 - CUSTOM RAL	120/277v Other - Specify	

ADDITIONAL OPTIONS			

- NAT - Natatorium Rated

SCE - Surface Conduit Decorative Trim

REMG - Remote Emergency Battery Pack

HGT - Custom Height

AMB - Turtle Friendly Amber LED
- 4MP - 4" Junction Box Mounting Plate

F - Frosted Lens

RPA - Round Pole Adapter





RSP Round Non-Tapered Steel Poles



RSP

Pole Shaft

The pole shaft is one piece construction, being fabricated from a weldable grade carbon steel structural tubing which has a uniform wall thickness of 11 gauge (0.1196") or 7 gauge (0.1793"). The pole shaft material shall conform to ASTM A-500 Grade C with a minimum yield strength of 50,000 psi. The pole shaft has a full length longitudinal resistance weld and is uniformly cylindrical in cross-section with round sides and excellent torsional properties.

Base Plate

The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. The anchor base telescopes the pole shaft and is circumferentially welded top and bottom. All welds are performed in accordance with the American Welding Society specification AWS D1.1, latest edition.

Anchor Bolts

Anchor bolts are fabricated from commercial quality hot rolled carbon steel bar that meets or exceeds a minimum yield strength of 55,000 psi. Four properly sized anchor bolts, each with two regular hex nuts and washers, are furnished and shipped with all poles unless otherwise specified. Anchor bolts shall have the threaded end galvanized a minimum of 8 inches in accordance with ASTM A-153. Fully galvanized anchor bolts are available upon request.

Handhole

An oval reinforced gasketed handhole, having a nominal 2" x 4" or 3" x 5" inside opening, located 1'-6" above base, is standard on all poles. A grounding provision is located inside the handhole ring.

Finishes

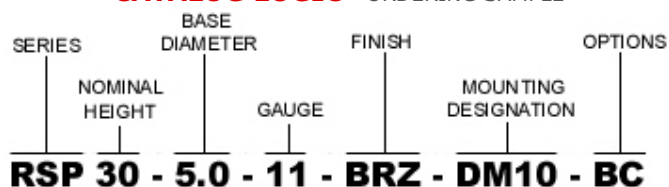
The [Standard Finish](#) is a polyester thermosetting powder coating applied to the surface of the substrate to a minimum of 3 mils for all color finishes. [Hot dip Galvanized](#) finish to a ASTM A-123 specification or primed finish is also available. For optional finishes, see [K-KLAD](#) and [K-KLAD Over Galvanizing](#).

HOW TO ORDER

When ordering KW lighting standards, mounting adaptors and accessories, be sure to specify the complete catalog number. Our catalog numbers reflect the precise specifications of the item ordered to ensure our customers will receive the product which meets their exact requirements.

The following explanation of the catalog numbers will be helpful in placing orders:

CATALOG LOGIC - ORDERING SAMPLE



Catalog Number	Nominal Height	Pole Shaft	Gauge	Handhole Size	Anchor Bolt	Bolt Circle	80 MPH	90 MPH	100 MPH	Ship WT.
RSP10-4.0-11	10	4.00 x 10.0	11	2 x 4	0.75 x 17 x 3	8	31	24	19.5	78
RSP10-4.5-11	10	4.50 x 10.0	11	3 x 5	0.75 x 17 x 3	8	40	31.5	25	84
RSP10-5.0-11	10	5.0 x 10.0	11	3 x 5	1.00 x 36 x 4	11	51	40.5	32.5	139
RSP12-4.0-11	12	4.00 x 12.0	11	2 x 4	0.75 x 17 x 3	8	28.9	23.4	19.2	73
RSP12-4.5-11	12	4.50 x 12.0	11	3 x 5	0.75 x 17 x 3	8	34	27	21.5	96
RSP12-5.0-11	12	5.0 x 12.0	11	3 x 5	1.00 x 36 x 4	11	43	33.5	27	153
RSP14-4.0-11	14	4.00 x 14.0	11	2 x 4	0.75 x 17 x 3	8	23.6	19.1	15.6	99
RSP14-4.5-11	14	4.50 x 14.0	11	3 x 5	0.75 x 17 x 3	8	28	22	17	108

RSP14-5.0-11	14	5.0 x 14.0	11	3 x 5	1.00 x 36 x 4	11	36	28	22.5	166
RSP15-4.0-11	15	4.00 x 15.0	11	2 x 4	0.75 x 17 x 3	8	18.1	14.5	11.8	88
RSP15-4.5-11	15	4.50 x 15.0	11	3 x 5	0.75 x 17 x 3	8	26.5	20.5	16.3	98
RSP15-5.0-11	15	5.0 x 15.0	11	3 x 5	1.00 x 36 x 4	11	33	26	20.5	173
RSP15-5.0-7	15	5.0 x 15.0	7	3 x 5	1.00 x 36 x 4	11	50	39	31.5	222
RSP16-4.0-11	16	4.00 x 16.0	11	2 x 4	0.75 x 17 x 3	8	16.5	13.2	10.6	93
RSP16-4.5-11	16	4.50 x 16.0	11	3 x 5	0.75 x 17 x 3	8	24.4	18.8	14.8	120
RSP16-5.0-11	16	5.0 x 16.0	11	3 x 5	1.00 x 36 x 4	11	31	24.2	19.4	179
RSP16-5.0-7	16	5.0 x 16.0	7	3 x 5	1.00 x 36 x 4	11	47	37	29	232
RSP18-4.0-11	18	4.00 x 18.0	11	2 x 4	0.75 x 17 x 3	8	13.7	10.8	8.6	103
RSP18-4.5-11	18	4.50 x 18.0	11	3 x 5	0.75 x 17 x 3	8	21	16	12.5	132
RSP18-5.0-11	18	5.0 x 18.0	11	3 x 5	1.00 x 36 x 4	11	27	21	16.5	192
RSP18-5.0-7	18	5.0 x 18.0	7	3 x 5	1.00 x 36 x 4	11	40	31	25.2	252
RSP20-4.0-11	20	4.00 x 20.0	11	2 x 4	0.75 x 17 x 3	8	11.4	8.9	6.9	123
RSP20-4.5-11	20	4.50 x 20.0	11	3 x 5	0.75 x 30 x 3	8	15.5	12.2	9.6	135
RSP20-5.0-11	20	5.00 x 20.0	11	3 x 5	1.00 x 36 x 4	11	20.3	16	12.7	189
RSP20-5.0-7	20	5.00 x 20.0	7	3 x 5	1.00 x 36 x 4	11	28.2	22.4	18	253
RSP22-4.5-11	22	4.50 x 22.0	11	3 x 5	0.75 x 30 x 3	8	13	10.1	7.8	147
RSP22-4.0-11	22	4.00 x 22.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP22-5.0-11	22	5.00 x 22.0	11	3 x 5	1.00 x 36 x 4	11	17.3	13.5	10.5	202
RSP22-5.0-7	22	5.00 x 22.0	7	3 x 5	1.00 x 36 x 4	11	24.2	19.2	15.3	272
RSP24-4.0-11	24	4.00 x 24.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP24-4.5-11	24	4.50 x 24.0	11	3 x 5	0.75 x 30 x 3	8	10.9	8.3	6.3	158
RSP24-5.0-11	24	5.00 x 24.0	11	3 x 5	1.00 x 36 x 4	11	14.6	11.3	8.6	215
RSP24-5.0-7	24	5.00 x 24.0	7	3 x 5	1.00 x 36 x 4	11	20.9	16.4	12.9	292
RSP25-4.0-11	25	4.00 x 25.0	11	2 x 4	0.75 x 17 x 3	8	7	5.1	3.7	148
RSP25-4.5-11	25	4.50 x 25.0	11	3 x 5	0.75 x 30 x 3	8	10	7.5	5.5	164
RSP25-5.0-11	25	5.00 x 25.0	11	3 x 5	1.00 x 36 x 4	11	13.5	10.3	7.8	221
RSP25-5.0-7	25	5.00 x 25.0	7	3 x 5	1.00 x 36 x 4	11	19.4	15.1	11.8	301
RSP26-4.5-11	26	4.50 x 26.0	11	3 x 5	0.75 x 30 x 3	8	9.1	6.7	4.9	170
RSP26-5.0-11	26	5.00 x 26.0	11	3 x 5	1.00 x 36 x 4	11	12.4	9.3	7	228
RSP26-5.0-7	26	5.00 x 26.0	7	3 x 5	1.00 x 36 x 4	11	18	13.9	10.8	311
RSP28-4.5-11	28	4.50 x 28.0	11	3 x 5	0.75 x 30 x 3	8	7.4	5.3	3.6	182
RSP28-5.0-11	28	5.00 x 28.0	11	3 x 5	1.00 x 36 x 4	11	10.4	7.6	5.5	240
RSP28-5.0-7	28	5.00 x 28.0	7	3 x 5	1.00 x 36 x 4	11	15.4	11.7	8.9	330
RSP30-4.5-11	30	4.50 x 30.0	11	3 x 5	0.75 x 30 x 3	8	5.3	3.5	2.2	193
RSP30-5.0-11	30	5.00 x 30.0	11	3 x 5	1.00 x 36 x 4	11	7.6	5.3	3.6	253
RSP30-5.0-7	30	5.00 x 30.0	7	3 x 5	1.00 x 36 x 4	11	11.5	8.5	6.2	349
RSP35-5.0-7	35	5.00 x 35.0	7	3 x 5	1.00 x 36 x 4	11	7	4.6	2.8	397

FINISHES**Standard**

BRZ	Bronze
BLK	Black
GRY	Gray
GRN	Green
WHT	White
P	Primed
NA	Natural Aluminum

Galvanized

G	Galvanized
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K-KLAD

K813	Bronze
K821	Black
K841	Gray
K891	Green
K881	White
K845	Natural Aluminum

K-KLAD Over Galvanizing

KZ13	Bronze
KZ21	Black
KZ41	Gray
KZ91	Green
KZ81	White
KZ45	Natural Aluminum

1 YEAR WARRANTY

5 YEAR WARRANTY

10 YEAR WARRANTY

MOUNTING DESIGNATIONS**Tenon Mount**

2	2 3/8" x 4" TENON
3	2 7/8" x 4" TENON
3.5	3 1/2" x 6" TENON
4	4" x 6" TENON

Drill Mount

DM10	Drilled for 1 Luminaire
DM2090	Drilled for 2 Luminaires @ 90°
DM2180	Drilled for 2 Luminaires @ 180°
DM3090	Drilled for 3 Luminaires @ 90°
DM3120	Drilled for 3 Luminaires @ 120°
DM4090	Drilled for 4 Luminaires @ 90°

Open Mount

OT	Open Top
OTC	Open Top includes Pole Cap

Gain Mount

1GSS4	(1) CXA
2GSS4	(2) CXA's located on the Same Side
3GSS4	(3) CXA's located on the Same Side
4GSS4	(4) CXA's located on the Same Side
2GBB4	(2) CXA's located Back to Back
4GBB4	(4) CXA's located Back to Back
1GSS9	(1) CXASQ
2GSS9	(2) CXASQ's located on the Same Side
3GSS9	(3) CXASQ's located on the Same Side
4GSS9	(4) CXASQ's located on the Same Side
2GBB9	(2) CXASQ's located Back to Back
4GBB9	(4) CXASQ's located Back to Back

OPTIONS

There are numerous options that can be ordered. Please indicate these selections under the options column in the catalog number. Example: CPL-WPR2-BC.

Accessories

BC	Base Cover
CPL	Threaded Coupling*
NPL	Threaded Nipple*
WPRP	Festoon Opening**
LAB	Less Anchor Bolt

Extra Handholes

XHH	Extra Handhole*
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Embedment Pole Options

E	Embedded Pole
GS	Ground Sleeve
CTE	Coal Tar Epoxy

For Embedment Poles:

Recommended Mounting Height	Recommended Embedment Depth
Less than 20'	4'
20' - 33'	6'
Greater than 33'	7'

Additional Simplex

1S	1 @ 0° *
2S	2 @ 180° *
3S	3 @ 90° *
4S	4 @ 90° *

Greater embedment depths are available upon request.

* Please advise size, location, and orientation. (Handholes are restricted by size of pole shaft diameter)

** Located 24" above baseplate and same side as handhole. (No electrical included)

PACKAGING

Immediately after coating, the lighting standard including the baseplate shall be wrapped in heavy corrugation specially designed and sized to achieve maximum protection in transit.

KW Industries, Inc. coating process system and stringent quality control procedures provide our customer the finest quality lighting standards in the industry.

DESCRIPTION

The Galleon™ Pedestrian Companion LED luminaire's appearance is complementary with the Galleon area and site luminaire bringing a modern architectural style to lighting applications. Flexible mounting options accommodate a variety of pole configurations and mounting heights, allowing it to be offered as a pedestrian or site lighting solution. The Galleon family of LED products deliver exceptional performance with patented, high-efficiency AccuLED Optics™, providing uniform and energy conscious lighting for parking lots, building and security lighting applications.

SPECIFICATION FEATURES

Construction

Driver enclosure thermally isolated from optics for optimal thermal performance. Heavy wall aluminum housing die-cast with integral external heat sinks to provide superior structural rigidity and an IP66 rated housing. Overall construction passes a 1.5G vibration test to ensure mechanical integrity.

Optics

Choice of sixteen patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 3000K, 5000K

and 6000K CCT. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 1200mA, 800mA, and 600mA drive currents.

Electrical

LED drivers are mounted for ease of maintenance. 120-277V 50/60Hz, 347V or 480V 60Hz operation. 480V is compatible for use with 480V Wye systems only. Drivers are provided standard with 0-10V dimming. An optional Eaton proprietary surge protection module is available and designed to withstand 10kV of transient line surge. The Galleon Pedestrian LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option.

Mounting

The innovative quick mounting arm attaches to new or existing 4-5" round or square poles with 1-1/2" to 4-7/8" drilling patterns without re-drilling. The mast arm adapter fits horizontal 2-3/8" tenon.

Finish

Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

Warranty

Five-year warranty.



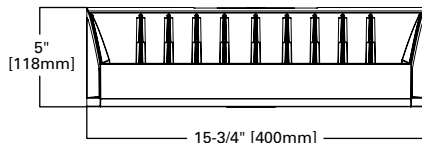
GPC GALLEON PEDESTRIAN COMPANION

1-2 Light Squares
Solid State LED

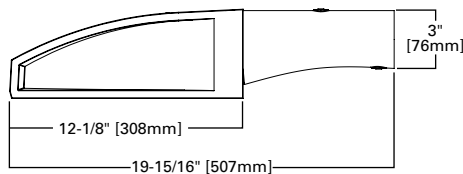
AREA/SITE LUMINAIRE

WaveLinX

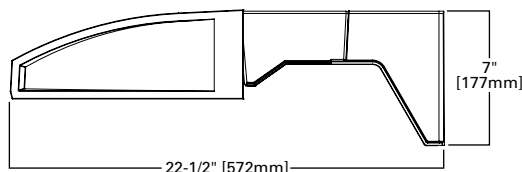
DIMENSIONS



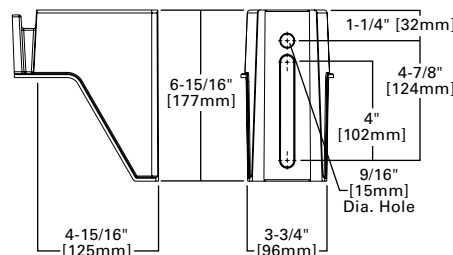
MAST ARM MOUNT



QUICK MOUNT ARM (OVERALL DIMENSIONS)



QUICK MOUNT ARM (POLE MOUNTING DETAILS)



CERTIFICATION DATA

UL/cUL Listed
LM79 / LM80 Compliant
IP66 Housing
ISO 9001
DesignLights Consortium® Qualified*

ENERGY DATA

Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120-277V 50/60Hz
347V, 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

EPA

Effective Projected Area (Sq. Ft.)
Quick Mount Arm: 0.73
Mast Arm: 0.62

SHIPPING DATA

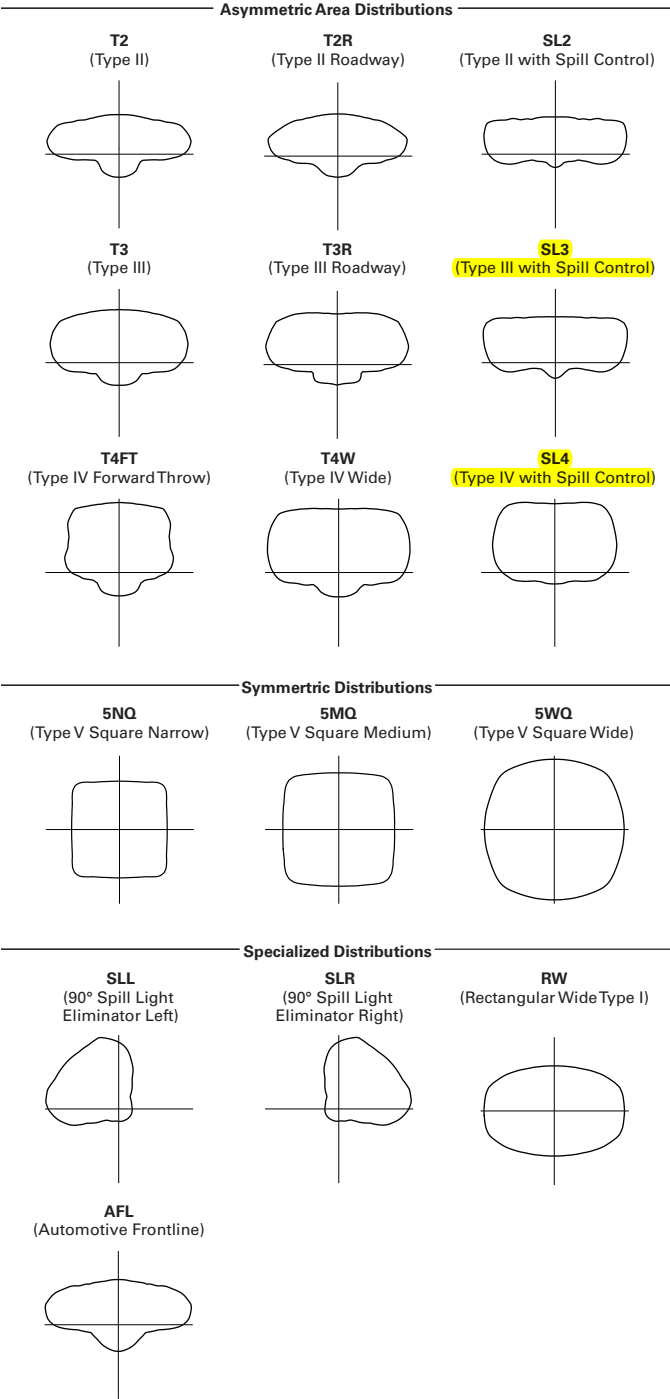
Approximate Net Weight:
27 lbs. (12.2 kgs.)

POWER AND LUMENS

Number of Light Squares		1				2			
Drive Current		600mA	800mA	1.0A	1.2A	600mA	800mA	1.0A	1.2A
Nominal Power (Watts)		34	44	59	67	66	86	113	129
Input Current @ 120V (A)		0.3	0.39	0.51	0.58	0.58	0.77	1.02	1.16
Input Current @ 208V (A)		0.17	0.22	0.29	0.33	0.34	0.44	0.56	0.63
Input Current @ 240V (A)		0.15	0.19	0.26	0.29	0.3	0.38	0.48	0.55
Input Current @ 277V (A)		0.14	0.17	0.23	0.25	0.28	0.36	0.42	0.48
Input Current @ 347V (mA)		0.11	0.15	0.17	0.2	0.19	0.24	0.32	0.39
Input Current @ 480V (mA)		0.08	0.11	0.14	0.15	0.15	0.18	0.24	0.3
Optics									
T2	4000K/5000K Lumens	4,204	5,156	6,381	7,000	8,215	10,075	12,470	13,680
	3000K Lumens	3,975	4,874	6,033	6,618	7,767	9,525	11,790	12,934
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T2R	4000K/5000K Lumens	4,464	5,474	6,775	7,431	8,723	10,696	13,239	14,523
	3000K Lumens	4,221	5,176	6,406	7,025	8,247	10,113	12,517	13,731
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T3	4000K/5000K Lumens	4,285	5,256	6,505	7,135	8,375	10,269	12,710	13,943
	3000K Lumens	4,051	4,969	6,150	6,746	7,918	9,710	12,017	13,182
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G2
T3R	4000K/5000K Lumens	4,380	5,372	6,648	7,294	8,561	10,498	12,993	14,253
	3000K Lumens	4,141	5,078	6,286	6,895	8,094	9,925	12,285	13,475
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2
T4FT	4000K/5000K Lumens	4,311	5,286	6,542	7,177	8,422	10,329	12,784	14,024
	3000K Lumens	4,075	4,998	6,185	6,786	7,963	9,766	12,086	13,259
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3
T4W	4000K/5000K Lumens	4,254	5,217	6,458	7,084	8,313	10,195	12,619	13,843
	3000K Lumens	4,023	4,933	6,105	6,698	7,860	9,639	11,931	13,088
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G2	B2-U0-G3
SL2	4000K/5000K Lumens	4,196	5,147	6,370	6,988	8,202	10,058	12,449	13,656
	3000K Lumens	3,967	4,866	6,022	6,607	7,755	9,509	11,771	12,911
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B2-U0-G2	B2-U0-G3	B2-U0-G3
SL3	4000K/5000K Lumens	4,284	5,255	6,504	7,134	8,374	10,268	12,709	13,941
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
SL4	4000K/5000K Lumens	4,071	4,992	6,179	6,778	7,954	9,756	12,074	13,246
	3000K Lumens	3,849	4,720	5,842	6,408	7,520	9,224	11,415	12,523
	BUG Rating	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B1-U0-G3	B1-U0-G3
5NQ	4000K/5000K Lumens	4,420	5,420	6,709	7,358	8,637	10,591	13,108	14,380
	3000K Lumens	4,179	5,124	6,343	6,957	8,166	10,013	12,393	13,595
	BUG Rating	B2-U0-G1	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
5MQ	4000K/5000K Lumens	4,501	5,520	6,831	7,494	8,795	10,786	13,350	14,644
	3000K Lumens	4,256	5,219	6,458	7,085	8,316	10,198	12,622	13,845
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2
5WQ	4000K/5000K Lumens	4,513	5,534	6,849	7,514	8,819	10,815	13,385	14,683
	3000K Lumens	4,268	5,232	6,475	7,104	8,338	10,224	12,656	13,882
	BUG Rating	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2	B3-U0-G2	B4-U0-G2	B4-U0-G2	B4-U0-G2
SLL/SLR	4000K/5000K Lumens	3,765	4,619	5,716	6,270	7,358	9,023	11,167	12,251
	3000K Lumens	3,560	4,367	5,404	5,927	6,957	8,531	10,559	11,583
	BUG Rating	B1-U0-G1	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G2	B1-U0-G3	B2-U0-G3
RW	4000K/5000K Lumens	4,379	5,370	6,647	7,293	8,558	10,494	12,989	14,250
	3000K Lumens	4,141	5,077	6,285	6,895	8,092	9,922	12,281	13,473
	BUG Rating	B2-U0-G1	B2-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G1	B3-U0-G2	B3-U0-G2
AFL	4000K/5000K Lumens	4,396	5,390	6,672	7,318	8,590	10,533	13,037	14,301
	3000K Lumens	4,156	5,096	6,308	6,919	8,121	9,959	12,326	13,521
	BUG Rating	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B1-U0-G1	B2-U0-G2	B2-U0-G2

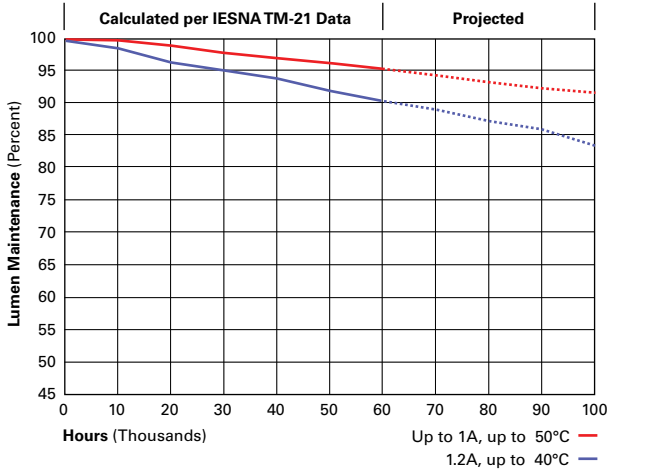
* Nominal lumen data for 70 CRI. BUG rating for 4000K/5000K. Refer to IES files for 3000K BUG ratings.

OPTICAL DISTRIBUTIONS



LUMEN MAINTENANCE

Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	> 416,000
1.2A	Up to 40°C	> 90%	> 205,000



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

CONTROL OPTIONS**0-10V (DIM)**

This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.

Photocontrol (P, R and PER7)

Optional button-type photocontrol (P) and photocontrol receptacles (R and PER7) provide a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PER7 receptacle.

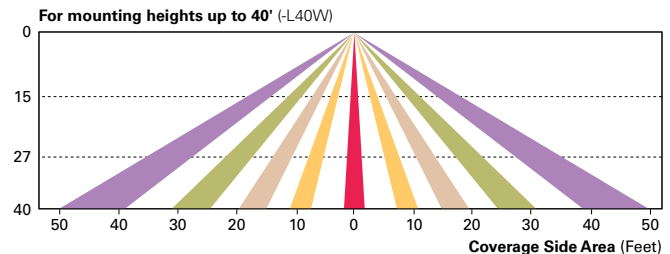
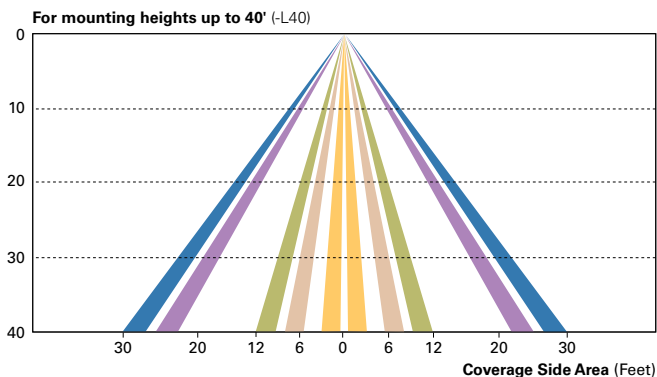
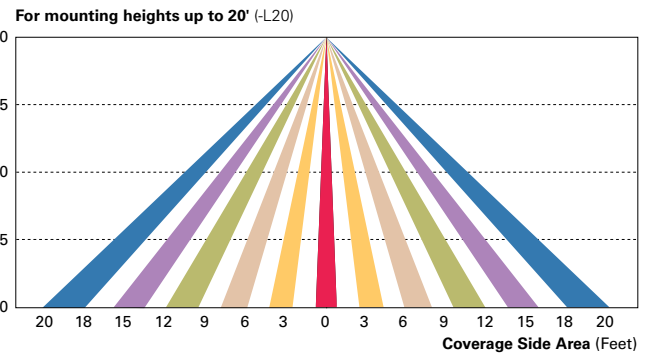
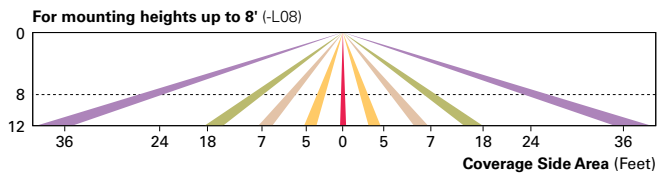
After Hours Dim (AHD)

This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

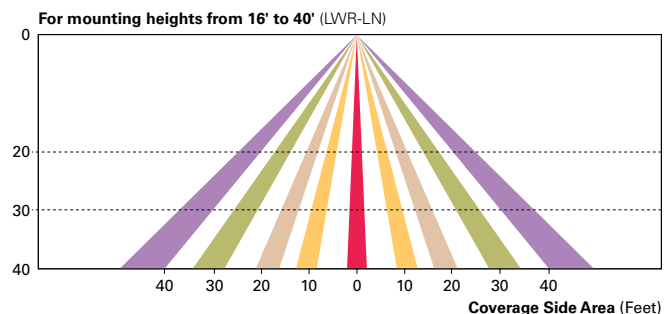
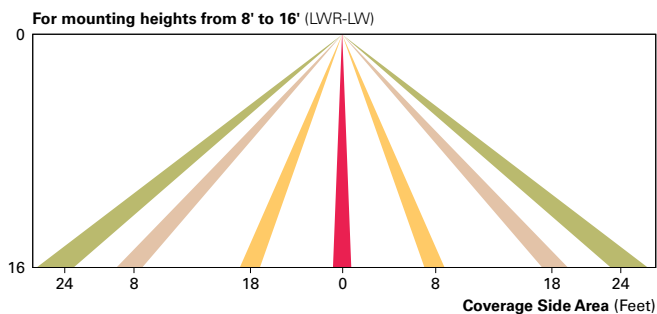
Dimming Occupancy Sensor (MS/DIM-LXX and MS-LXX)

These sensors are factory installed in the luminaire housing. When the MS/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MS-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS/X-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

These occupancy sensors includes an integral photocell that can be activated with the FSIR-100 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-40'.

**LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)**

The Eaton's LumaWatt Pro powered by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated wireless sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

**WaveLinx Wireless Outdoor Lighting Control Module (WOLC-7P-10A)**

The 7-pin wireless outdoor lighting control module enables WaveLinx to control outdoor area, site and flood lighting. WaveLinx controls outdoor lighting using schedules to provide ON, OFF and dimming controls based on astronomic or time schedules based on a 7 day week.

ORDERING INFORMATION

Sample Number: GPC-AF-02-LED-E1-T3-GM

Product Family	Light Engine	Number of Light Squares ¹	Lamp Type	Voltage	Distribution	Color	Mounting Options
GPC=Galleon Pedestrian Companion	AF=1A Drive Current	01=1 02=2	LED=Solid State Light Emitting Diodes	E1=120-277V 347=347V ² 480=480V ^{2,3}	T2=Type II T2R= Type II Roadway T3=Type III T3R= Type III Roadway T4FT=Type IV Forward Throw T4W=Type IV Wide SL2=Type II w/Spill Control SL3=Type III w/Spill Control SL4=Type IV w/Spill Control SLL=90° Spill Light Eliminator Left SLR=90° Spill Light Eliminator Right RW=Rectangular Wide Type I 5NQ=Type V Square Narrow 5MQ=Type V Square Medium 5WQ=Type V Square Wide AFL=Automotive Frontline	AP=Grey BZ=Bronze BK=Black DP=Dark Platinum GM=Graphite Metallic WH=White CC=Custom Color ⁴	QM=Quick Mount Arm for Round or Square Pole ^{5,6} MA=2-3/8" Mast Arm ^{5,7}
Options (Add as Suffix)					Accessories (Order Separately)		
7027=70 CRI / 2700K ⁸ 7030=70 CRI / 3000K ⁸ 8030=80 CRI / 3000K ⁸ 7050=70 CRI / 5000K ⁸ 7060=70 CRI / 6000K ⁸ 600=Drive Current Factory Set to 600mA 800=Drive Current Factory Set to 800mA 1200=Drive Current Factory Set to 1200mA ⁹ F=Single Fused (120, 277 or 347V. Must Specify Voltage) FF=Double Fused (208, 240 or 480V. Must Specify Voltage) 10K=10kV Surge Module DIM=0-10V Dimming Leads ^{10,11} HA=50°C High Ambient ¹² P=Button Type Photocontrol (120, 208, 240 or 277V. Must Specify Voltage) R=NEMA Twistlock Photocontrol Receptacle PER7=NEMA 7-PIN Twistlock Photocontrol Receptacle ¹³ AHD145=After Hours Dim, 5 Hours ¹⁴ AHD245=After Hours Dim, 6 Hours ¹⁴ AHD255=After Hours Dim, 7 Hours ¹⁴ AHD355=After Hours Dim, 8 Hours ¹⁴ MS-LXX=Motion Sensor for On/Off Operation ^{15,16,17} MS/DIM-LXX=Motion Sensor for Dimming Operation ^{15,16,17} LWR-LW=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height ^{17,18,19} LWR-LN=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height ^{17,18,19} LCF=Light Square Trim Plate Painted to Match Housing ²⁰ MT=Factory Installed Mesh Top L90=Optics Rotated 90° Left R90=Optics Rotated 90° Right HSS=Factory Installed House Side Shield ²¹ CE=CE Marking and Small Terminal Block ²² ZW=Wavelinx-enabled 4-PIN Twistlock Receptacle ^{26,27} ZW-SWPD4XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{26,27,29} ZW-SWPD5XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{26,27,29}					OA/RA1013=Photocontrol Shorting Cap OA/RA1016=NEMA Photocontrol - Multi-Tap 105-285V OA/RA1201=NEMA Photocontrol - 347V OA/RA1027=NEMA Photocontrol - 480V MA1252=10kV Circuit Module Replacement MA1036-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon MA1037-XX=2@180° Tenon Adapter for 2-3/8" O.D. Tenon MA1197-XX=3@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1188-XX=4@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1189-XX=2@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1190-XX=3@90° Tenon Adapter for 2-3/8" O.D. Tenon MA1191-XX=2@120° Tenon Adapter for 2-3/8" O.D. Tenon MA1038-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon MA1039-XX=2@180° Tenon Adapter for 3-1/2" O.D. Tenon MA1192-XX=3@120° Tenon Adapter for 3-1/2" O.D. Tenon MA1193-XX=4@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1194-XX=2@90° Tenon Adapter for 3-1/2" O.D. Tenon MA1195-XX=3@90° Tenon Adapter for 3-1/2" O.D. Tenon FSIR-100=Wireless Configuration Tool for Occupancy Sensor ¹⁶ LS/HSS=Field Installed House Side Shield ^{21,23} WOLC-7P-10A=Wavelinx Outdoor Control Module (7-pin) ^{24,26} SWPD4-XX=Wavelinx Wireless Sensor, 7' - 15' Mounting Height ^{26,27,28,29} SWPD5-XX=Wavelinx Wireless Sensor, 15' - 40' Mounting Height ^{26,27,28,29}		

NOTES:

- Standard 4000K CCT and minimum 70 CRI.
- Requires the use of a step down transformer. Not available in combination with sensor options at 1200mA.
- Only for use with 480V Wye systems. Per NEC, not for use with ungrounded systems, impedance grounded systems or corner grounded systems (commonly known as Three Phase Three Wire Delta, Three Phase High Leg Delta and Three Phase Corner Grounded Delta systems).
- Custom colors are available. Setup charges apply. Paint chip samples required. Extended Lead times apply.
- Customer is responsible for engineering analysis to confirm pole and fixture compatibility for all applications. Refer to our white paper WP513001EN for additional support information.
- Quick mount arm adapter is factory installed. Pole mounting bracketed shipped in box. Suitable for 1.5G. Fits square and round pole up to 6" O.D.
- Mast arm adapter factory installed (2-3/8" O.D. arm only). Suitable for 3G vibration.
- Extended lead times apply. Use dedicated IES files when performing layouts.
- Not available with HA option.
- Cannot be used with other control options.
- Low voltage control lead brought out 18" outside fixture.
- HA option available for single light square only. Not available with 1200mA drive current.
- Compatible with standard 3-PIN photocontrols, 5-PIN or 7-PIN ANSI controls.
- Requires the use of P photocontrol or the PER7 or R photocontrol receptacle with photocontrol accessory. See After Hours Dim supplemental guide for additional information.
- Replace LXX with mounting height in feet for proper lens selection (e.g., L8=8' mounting height). L8, L20, L40, and L40W are available options.
- The FSIR-100 configuration tool is required to adjust parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your lighting representative at Eaton for more information.
- Includes integral photosensor.
- Bronze sensor is shipped with Bronze fixtures. White sensor shipped on all other housing color options.
- LumaWatt wireless sensors are factory installed requiring network components in appropriate quantities. See www.eaton.com/lighting for LumaWatt application information.
- Not available with HSS option.
- Only for use with SL2, SL3, SL4, and AFL distributions. The light square trim plate is painted black when the HSS option is selected.**
- CE is not available with the LWR, MS, MS/DIM, P, R or PER7 options. Available in 120-277V only.
- One required for each light square.
- Requires PER7.
- Reserved.
- Cannot be used in conjunction with photocontrol or other controls systems (P, R, MS, LWR).
- WAC Gateway required to enable field-configurability: Order WAC-PoE and WPOE-120 (10V to PoE injector) power supply if needed.
- Requires ZW.
- Replace XX with sensor color (WH, BZ, or BK).



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Jared Helmberger, PE; *Epsilon Land Development*

DATE: April 28, 2020

SUBJECT: SP2020-006; *Site Plan for Pinnacle Montessori Academy and Retail Building*

On April 22, 2020, the applicant -- *Jared Helmberger of Epsilon Land Development* -- requested to postpone *Case No. SP2020-006* until the May 12, 2020 Planning and Zoning Commission meeting. The purpose of the postponement is to allow the applicant time to work with the Architectural Review Board (ARB) and staff to bring the request closer into conformance with the requirements of the Unified Development Code (UDC) and the recommendations of the ARB. This postponement will not require any action by the Planning and Zoning Commission. Should the Planning and Zoning Commission have any questions staff will be available at the April 28, 2020 meeting to discuss.

Exhibit 'A'
Applicant's Withdrawal Letter

From: jhelmberger@epsilon-land.com
To: [Miller, Ryan](#)
Cc: mjssablick@epsilon-land.com
Subject: RE: Pinnacle Montessori Site Plan
Date: Wednesday, April 22, 2020 8:20:35 AM
Attachments: [image003.png](#)
[image004.png](#)
[image007.png](#)
[image010.png](#)
[image012.png](#)
[image013.png](#)

Ryan –

I just heard from the architect, he's still going through revisions to both address all of the City comments and get the owners approval.

Let me know how you'd like to proceed from here – we're fine with bumping back a P&Z meeting if we can.

Jared Helmburger, P.E.
Vice President of Engineering
Epsilon Land Development
8225 Central Expressway, Suite 306
Richardson, TX 75080
Direct: 214-462-7330

4/22/2020

City of Rockwall
Project Plan Review History

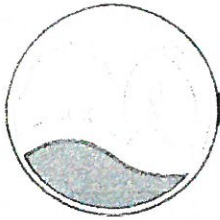


Project Number	Z2020-011	Owner	ROBERTS, MARLYN & BARBARA	Applied	4/17/2020	AG
Project Name	SUP for 323 Julian Drive	Applicant	Marlyn Roberts	Approved		
Type	ZONING			Closed		
Subtype	SUP			Expired		
Status	Staff Review			Status		

Site Address	City, State Zip					
323 JULIAN	ROCKWALL, TX 75087					Zoning
Subdivision	Tract	Block	Lot No	Parcel No	General Plan	
WATERSTONE ESTATES	5	D	5	5227-000D-0005-00-OR		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	3/20/2020	3/27/2020	3/23/2020	3	APPROVED	
ENGINEERING	Amy Williams	3/20/2020	3/27/2020	4/22/2020	33	APPROVED	
FIRE	Ariana Hargrove	3/20/2020	3/27/2020	3/25/2020	5	APPROVED	
PLANNING	Ryan Miller	3/20/2020	3/27/2020	4/22/2020	33	APPROVED	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
Z2020-011; Specific Use Permit (SUP) for 323 Julian Drive						
Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This request is for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage and height on a 0.1865-acre parcel of land identified as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, and addressed as 323 Julian Drive.						
I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmler@rockwall.com.						
M.3 For reference, include the case number (Z2020-011) in the lower right-hand corner of all pages on future submittals.						
I.4 According to Subsection 07.04, Accessory Structure Development Standards, of Article 05, District Development Standards, of the Unified Development Code (UDC), accessory buildings proposed in a Single-Family 7 (SF-7) District shall adhere to the following requirements:						
(1) Number of Accessory Structures Permitted per Lot: 2						
(2) Maximum SF of Accessory Structure: 144 SF						
(3) Minimum Side and Rear Setback: 3 Feet						
(4) Distance Between Buildings: 6 Feet						
(5) Maximum Building Height						
In addition, all accessory buildings should be constructed to be architecturally compatible to the primary structure and be situated behind the front façade of the building. In this case, the applicant's request conforms to all the requirements with the exception of the size requirements and the requirement that the structure be architecturally compatible with the primary structure. Based on this staff has prepared the attached Draft Ordinance						
M.11 Please review the attached Draft Ordinance prior to the April 28, 2020 Planning and Zoning Commission Work Session meeting, and provide staff with your markups by no later than May 5, 2020.						
I.12 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 5, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 12, 2020 Planning and Zoning Commission Public Hearing Meeting. The Planning and Zoning Commission Work Session Meeting for this case will be held on May 12, 2020.						
I.13 The projected City Council meeting dates for this case will be May 18, 2020 [1st Reading] and June 1, 2020 [2nd Reading].						
I.14 Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions over the phone (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff is currently unsure of how the April 28, 2020 Planning and Zoning Commission Public Hearing will be held (i.e. virtually through zoom, closed to the public, or as regularly scheduled) and will inform applicants and the public of the City's plans closer to that date.						



City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-011

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)
- ☐ Final Plat (\$300.00 + \$20.00 Acre)
- ☐ Replat (\$300.00 + \$20.00 Acre)
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 323 Julian dr. 323

Subdivision Water Stone

Lot 5 Block D

General Location 323 Julian dr.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning

Current Use

Proposed Zoning

Proposed Use

Acreage

Lots [Current]

Lots [Proposed]

[x] **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☒ Owner Marlyn Roberts

☒ Applicant Marlyn Roberts

Contact Person Marlyn Roberts

Contact Person same as owner

Address 323 Julian dr.

Address same as owner

City, State & Zip Rockwall, Texas 75087 City, State & Zip

Phone 214-926-7494 Phone

E-Mail mbr@att.net E-Mail

NOTARY VERIFICATION [REQUIRED]

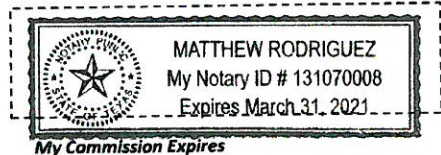
Before me, the undersigned authority, on this day personally appeared Marlyn Roberts [Owner] the undersigned, who stated the information on this application to be true and certified the following:

"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$ 215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 04 day of April, 20 20. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 16th day of April, 20 20.

Owner's Signature

Notary Public in and for the State of Texas





City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



From: [Gamez, Angelica](#)
Cc: [Miller, Ryan](#); [Gonzales, David](#)
Subject: Neighborhood Notification Program
Date: Wednesday, April 22, 2020 10:10:30 AM
Attachments: [HOA Map \(04.20.2020\).pdf](#)
[Public Notice \(04.20.2020\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the Neighborhood Notification Program, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on May 1, 2020. The Planning and Zoning Commission will hold a virtual public meeting on Tuesday, May 12, 2020 at 6:00 PM, and the City Council will hold a virtual public meeting on Monday, May 18, 2020 at 6:00 PM. Both hearings will take place virtually at 6:00 PM and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

Case No. Z2020-011: SUP for 323 Julian Drive

Hold a public hearing to discuss and consider a request by Marlyn Roberts for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage and height on an 0.1865-acre parcel of land identified as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 323 Julian Drive, and take any action necessary.

Thank you,

Angelica Gamez

Planning & Zoning Coordinator

City of Rockwall

972.771.7745 Office

972.772.6438 Direct

<http://www.rockwall.com/planning/>



City of Rockwall

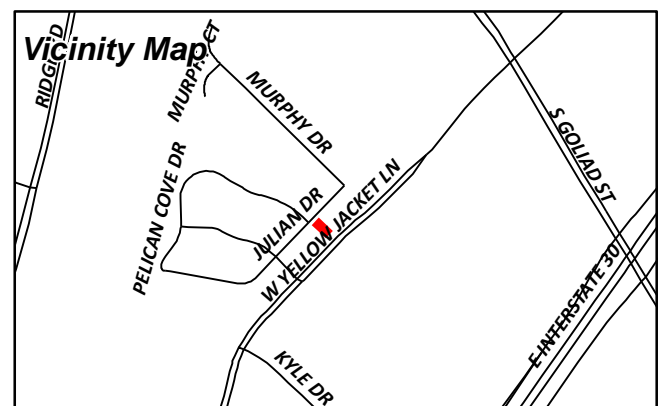
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Case Number: Z2020-011
Case Name: SUP for 323 Julian Drive
Case Type: Specific Use Permit (SUP)
Zoning: Single-Family (SF-7) District
Case Address: 323 Julian Drive

Date Created: 4/21/2020
For Questions on this Case Call (972) 771-7745



WHITEHEAD DARRY M & KELLI D
128 TUPELO DR
ROCKWALL, TX 75087

FOLSOM JERRY L & JACQUELINE
13 NW 69TH ST
LAWTON, OK 73505

WILLIAMS CELIA
131 TUPELO DR
ROCKWALL, TX 75087

ANDERSON STEVEN
132 TUPELO DR
ROCKWALL, TX 75087

CURRENT RESIDENT
135 TUPELO
ROCKWALL, TX 75087

LANE JAMES DALE
136 TUPELO DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1518 MURPHY
ROCKWALL, TX 75087

PENNELL CHRISTOPHER D
1522 MURPHY DR
ROCKWALL, TX 75087

CURRENT RESIDENT
1526 MURPHY
ROCKWALL, TX 75087

CHARLES WILLIAM FOX TRUST
C/O WANDA E FOX
1527 MURPHY
ROCKWALL, TX 75087

JONCZAK LAWRENCE J & REBECCA
1530 MURPHY DR
ROCKWALL, TX 75087

ALLEN CHRISTINE D
1531 MURPHY DR
ROCKWALL, TX 75087

ALVAREZ KENETH & JO ANNA
1534 MURPHY DR
ROCKWALL, TX 75087

BARBIERI MARTHA JO
1535 MURPHY DR
ROCKWALL, TX 75087

HOUSE MICHAEL
1538 MURPHY DR
ROCKWALL, TX 75087

JODAN JASON T
1539 MURPHY DRIVE
ROCKWALL, TX 75087

BIERSTEDT MARK A
1542 MURPHY DR
ROCKWALL, TX 75087

WARDELL CHASE AND KRYSTA
1543 MURPHY RD
ROCKWALL, TX 75087

JACKSON SHERAH
1547 MURPHY DR
ROCKWALL, TX 75087

NOP SOPHA
1553 MURPHY DR
ROCKWALL, TX 75087

SONOMA COURT LTD
1603 LBJ FWY SUITE 300
DALLAS, TX 75234

EUBANKS RANDALL S & MARY K
175 PELICAN COVE DR
ROCKWALL, TX 75087

CUMMINGS MATTHEW L AND AMANDA L
176 PELICAN COVE DRIVE
ROCKWALL, TX 75087

2018 R C HUFFMAN REVOCABLE TRUST
ROBERT CURTIS HUFFMAN AND CATARINA
MARIA HUFFMAN-TRUSTEES
179 PELICAN COVE DRIVE
ROCKWALL, TX 75087

STRADMANN IVO MOYANO
1918 STERLING CT
ROCKWALL, TX 75032

STEINBERGER DANE &
SHANNON HOLTON
201 PELICAN COVE DR
ROCKWALL, TX 75087

IADANZA LIVING TRUST
THOMAS JOHN IADANZA AND SUSANNE MARIE
IADANZA-TRUSTEES
202 JULIAN DR
ROCKWALL, TX 75087

NANCARROW GREGORY J & LYNN G
202 PELICAN COVE DR
ROCKWALL, TX 75087

COLBERT MICHAEL DON & KELLY J
202 TUPELO DRIVE
ROCKWALL, TX 75087

MURPHY STEVEN D AND ELIZABETH R
205 PELICAN COVE DR
ROCKWALL, TX 75087

VEGA JOHN & PAM
205 TUPELO DR
ROCKWALL, TX 75087

JEFFREY BRUCE & LOUISE
206 PELICAN COVE DR
ROCKWALL, TX 75087

CASTRO ERNESTO & KATHARINA
206 TUPELO DR
ROCKWALL, TX 75087

BRAMAN BRIAN K & ELIZABETH T
209 PELICAN COVE DR
ROCKWALL, TX 75087

JOHNSON STEVE
210 PELICAN COVE DR
ROCKWALL, TX 75087

WHITTAKER SANDRA
211 JULIAN DR
ROCKWALL, TX 75087

LUEB KEVIN J & AMANDA M &
LYNNE M LUEB
214 PELICAN COVE DR
ROCKWALL, TX 75087

HARPER EMILY ERIN
215 JULIAN DR
ROCKWALL, TX 75087

BERRY W A & MARIFLOYD
215 PELICAN COVE DR
ROCKWALL, TX 75087

CRAWFORD GAIL LYNN
218 PELICAN COVE DR
ROCKWALL, TX 75087

SHIELDS GREGORY GILBERT AND
CHARLENE SHIELDS
219 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
221 PELICAN COVE
ROCKWALL, TX 75087

CHILES LARRY & KAY
222 PELICAN COVE DR
ROCKWALL, TX 75087

ROBERTS MARLYN & BARBARA
2325 S. GOLIAD ST
ROCKWALL, TX 75032

GRAHAM STEVEN W & JACQUELYNN
305 JULIAN DR
ROCKWALL, TX 75087

GEIGER DONALD M
311 JULIAN DRIVE
ROCKWALL, TX 75087

LEWIS ROCIE L
315 JULIAN
ROCKWALL, TX 75087

CHABROL JASON A
319 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
323 JULIAN
ROCKWALL, TX 75087

STEVENS MARK R
327 JULIAN DR
ROCKWALL, TX 75087

CURRENT RESIDENT
331 JULIAN
ROCKWALL, TX 75087

PATEL MUKESH & MINAL
335 JULIAN DR
ROCKWALL, TX 75087

FALLS DAVID & TERRI
3608 LAKESIDE DR
ROCKWALL, TX 75087

BEDFORD LUKE FOSTER AND KYLEE
403 JULIAN DRIVE
ROCKWALL, TX 75087

IX MC 923 YELLOW JACKET LANE LP
C/O STARWOOD CAPITAL GROUP GLOBAL LP
591 W PUTNAM AVE
GREENWICH, CT 6830

IOSIFESCU SORIN
820 GRAY FOX DR
MCKINNEY, TX 75071

CURRENT RESIDENT
923 YELLOW JACKET
ROCKWALL, TX 75087

ROCKWALL RETIREMENT RESIDENCE LLC
C/O HAWTHORN DEVELOPMENT LLC
9310 NE VANCOUVER MALL DR SUITE 200
VANCOUVER, WA 98662

CURRENT RESIDENT
963 W. YELLOWJACKET
ROCKWALL, TX 75087

CURRENT RESIDENT
970 W .YELLOW JACKET
ROCKWALL, TX 75087

GONZALES LISA BROOKS
PO BOX 23
KEMP, TX 75143



NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-011: SUP for 323 Julian Drive

Hold a public hearing to discuss and consider a request by Marlyn Roberts for the approval of a Specific Use Permit (SUP) for an accessory building that exceeds the maximum square footage and height on an 0.1865-acre parcel of land identified as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 323 Julian Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— . . . PLEASE RETURN THE BELOW FORM — . . .

Case No. Z2020-011: SUP for 323 Julian Drive

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

On or about March 7, 2020 I agreed to purchase a storage building Ulrich barn builders, llc. During the sale conversation it was agreed that Ulrich would get the permit from the city and I would pay the permit fee and pay the management fee to pull permits at city I paid \$175.00 for them to do this. The discussion about them getting the permit was discussed a lot.

The building was to be delivered on or about April 1, 2020. I called on March 31, 2020 to check on delivery was told that Ulrich did not have the permit at that time and would have to reschedule would call me at a later date. They called and said that it would deliver on 4/09/2020. It was delivered that day after the building was set up and leveled and everything was completed the driver said due to cov-19 rather than sign the paper at that time they said it would be done by email I did ask him if I could get a copy of the permit he said it would be email to me with the rest of the paper work I received an email on about 04/15/2020 I received an email telling me that had received an email from the city that I had to get an sup. I replied

building was delivered. Not happy about but here I am.

***I hope planning will help me move forward and have to
remove the fences again will help anyway I can***

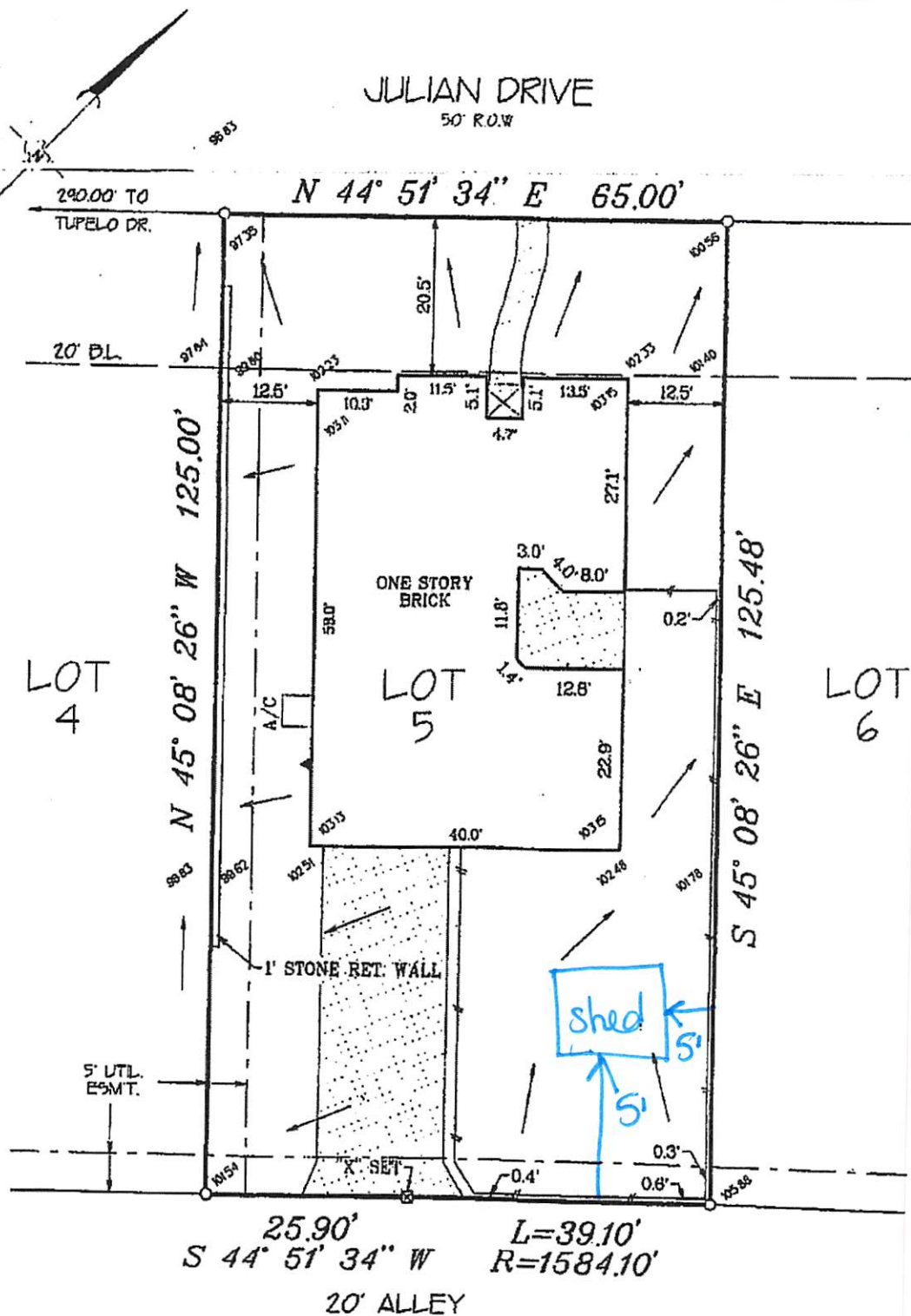
Thank you for your time.

Marlyn Roberts

Marlyn Roberts

SURVEY PLAT

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 323 JULIAN DRIVE in the city of ROCKWALL, Texas Lot No. 5 Block No. D of WATERSTONE ESTATES ADDITION on Addition to the City of ROCKWALL, ROCKWALL COUNTY, Texas, according to the PLAT RECORDS thereof recorded in Cabinet C, Slide 237, of the MAP Records of ROCKWALL County, Texas.



EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY:
VOLUME 39, PAGE 223 VOLUME 28, PAGE 9

NOTE: BEARINGS ARE BASED ON RECORDED PLAT

NOTE: According to the F.I.R.M. in Community Panel No. 480547 0005C, this property does lie in Zone X and does not lie within the 100 year flood zone.

To FIRST AMERICAN

Title Company in connection with the transaction described in GF. 97036271
Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned and the plat hereon is a correct and accurate representation of the property lines and dimensions as indicated location and types of buildings are as shown as EXCEPT AS SHOWN all improvements are located within the boundaries the distance indicated and there are no visible and apparent encroachments or protrusions on the ground.



12x16 Premier Lofted Barn

Customer: Marlyn Roberts

Due Date:

Sale Date: 03/07/2020

Ship Via: Truck Delivery

BUILD ORDER

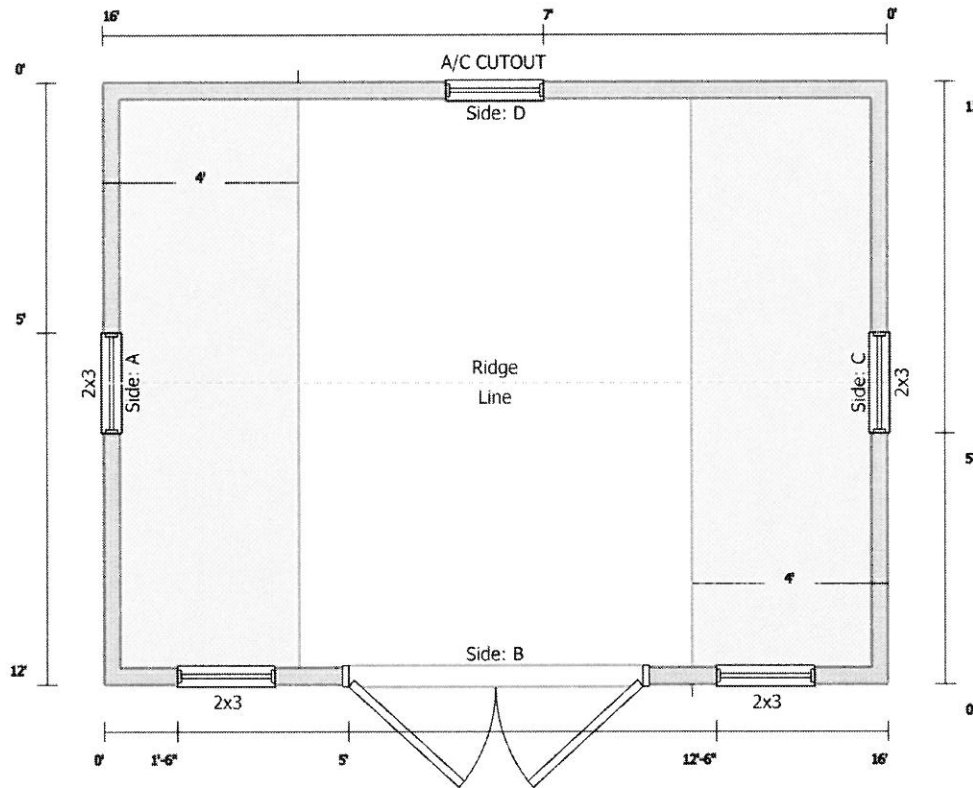
Serial:

Siding Color: Deep Walnut
Trim Color: Cream Delight
Roofing: Weathered Wood Shingle
(1) 5x5 Metal Frame Ramp with Cedar Treads
Wood Fence Removal (up to 2 panels - 1 post)
Position A1: 2x3 Bronze Window
Position B1: 2x3 Bronze Window
Position B2: 72" Double Shed Doors
Position B3: 2x3 Bronze Window
Position C1: 2x3 Bronze Window
Position D1: 24 in. Wide x 24 in. Tall AC Cutout

Inspection Report

Nailing pattern
Nails clipped
No cull studs showing
Roof fasteners properly installed
Siding fasteners properly installed
Paint Touchup
Doors squared and spaced
Building swept out
Serial plates installed

By:

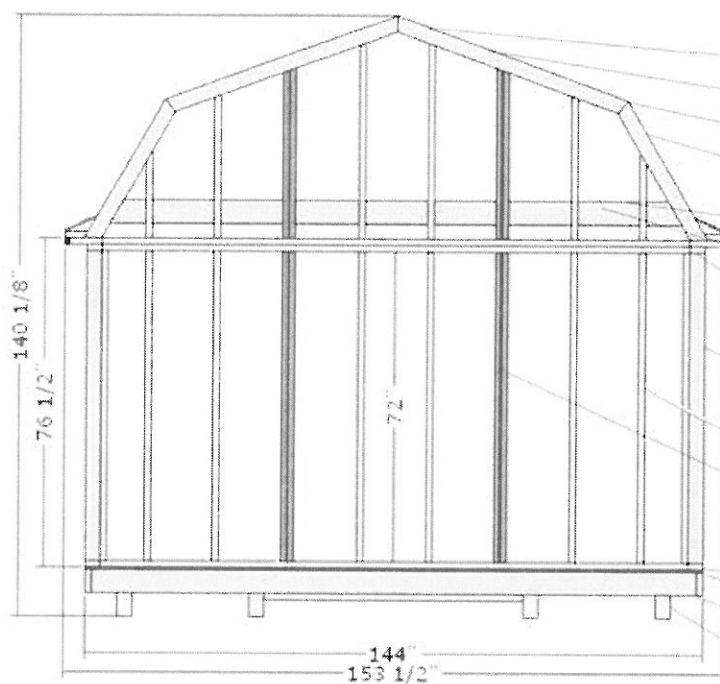


By signing this document, I agree that the above layout is correct, and I understand there will be additional charges for any changes or extra features.

x Marlyn Roberts
Customer Signature

Marlyn Robert
Print Name

03 / 09 / 2020
Date



12' WIDE LOFTED BARN

- 30 YR SHINGLES
- 7/16" OSB ROOF DECKING
- 2X4 TRUSS PLATES
- 2X4 SPF RAFTERS 16" OC
- 7/16" LOFT DECKING
- 2X6 SPF LOFT JOISTS 16" OC
- 2X8 SYP TOP PLATE
- 2X4 SPF PLATES
- 5/8" PT T1-11 OR
3/8" LOUISIANA PACIFIC
SMART SIDING
- 2X4 SPF STUD 16" OC
- DOUBLE STUD EVERY 4'
- 2X4 SPF WALL PLATES
- 5/8" BC PINE PLYWOOD
- 2X6 PT SYP FLOOR JOISTS 12" OC
- 4X6 PT SYP SKIDS



Ulrich Barn Builders, LLC
ulrichbarns.com | (817) 645-1122

SALES ORDER

CUSTOMER

Marlyn Roberts
323 Julian Dr
Rockwall, TX 75087
214-926-7494
972-771-9342
mbrr@att.net

SHIP TO

323 Julian Dr
Rockwall, TX 75087
VIA: Truck Delivery
FROM WH: MAIN
TYPE: New Build
SERIAL:

DATE: 03/07/2020

ORDER: 12238

ORDER TYPE: Cash Sale

STORE: Ft Worth - Corporate Store

SALES REP: Greg Stubbs

EMAIL: greg.stubbs@ulrichbarns.com

Configuration	Amount
12x16 Premier Lofted Barn	\$7,943.68
Standard Features: 6'6" Sidewalls, Easy Access Wrap Loft, Exclusive Ulrich Heavy Duty Hardware, Heavy Duty Diamond Plate Door Threshold, Standard 72" Double Doors, Premium Ridge and Eave Vent System.	\$0.00
Credit for Included Options: (1) 72" Double Shed Door	(\$295.00)
Position A1: 2x3 Bronze Window	\$150.00
Position B1: 2x3 Bronze Window	\$150.00
Position B2: 72" Double Shed Doors	\$295.00
Position B3: 2x3 Bronze Window	\$150.00
Position C1: 2x3 Bronze Window	\$150.00
Position D1: 24 in. Wide x 24 in. Tall AC Cutout	\$50.00
Siding Color: Deep Walnut	\$0.00
Trim Color: Cream Delight	\$0.00
Roofing: Weathered Wood Shingle	\$0.00
(1) 5x5 Metal Frame Ramp with Cedar Treads	\$295.00
Management fee to pull permits at city (DOES NOT include actual permit fees which the Customer agrees to pay directly to the city or reimburse the Company)	\$175.00
Wood Fence Removal (up to 2 panels - 1 post)	\$145.00

Pricing	Amount
BASE PRICE:	\$7,943.68
TOTAL OPTIONS:	\$1,265.00
PROMO DISCOUNT:	(\$238.00)
CASH DISCOUNT:	(\$556.06)
CREDIT TOWARD UPGRADES:	(\$397.00)
MGR DISC:	(\$397.00)
EMP DISC:	(\$397.00)
RGF ADJUSTMENT	(\$296.00)
TOTAL DISCOUNTS:	(\$2,281.06)
SUBTOTAL:	\$6,927.62
TAX:	\$571.53
TOTAL ORDER:	\$7,499.15
Payment	Amount
PAYMENT 880011347	(\$3,749.58)
DUE UPON DELIVERY:	\$3,749.57
AMT DUE TO PLACE ORDER:	\$3,749.58

Terms & Conditions - Permits and Restrictions: Ulrich Barn Builders, LLC and its agents are not responsible for permits, setbacks, restrictions, easements, or covenants. Please contact your local codes department and/or Homeowners. Customer is responsible to comply with all codes, setbacks, restrictions, easements, covenants, codes, or any other restrictions that may apply. Delivery: We reserve the right to reschedule delivery due to unsuitable weather and/or ground conditions, or other unforeseeable circumstances. Customer is responsible for adequate access to the building site and the path to the site free and clear of sprinkler systems, septic systems, etc. Ulrich Barn Builders, LLC is not responsible for yard or driveway damage. Delivery includes one trip; additional trips may incur charges to the customer. **Change Order Policy:** Any changes made to this order after submission will be billed at regular upgrade/change costs if applicable plus a \$100.00 change order fee. **Cancellation Policy:** Cancelled orders will be handled in the following manner. New build items if cancelled before construction begins or in stock inventory items 24 hours before delivery, will have a full refund, otherwise there will be a 15% cancellation fee on cash orders and no refund of down payment on rent to own sales. Ulrich Barn Builders, LLC reserves the right to cancel an order. I, the customer, have read the disclosure(s) above and fully accept the terms provided therein.

X Marlyn Roberts
Customer Signature

Marlyn Robert
Print Name

03 / 09 / 2020
Date

Premier Building Features

Floor System:

- 4x6 Treated Runners
- Floor joists - 2x6 Treated 12" on center
- 12" black plastic on plywood seams
- 5/8 BC Plywood Floor on all sheds
- 3/4 Treated Plywood on all garages
- Hurricane Ties on outer skids

Wall System:

- 2x4 for wall plates
- 2x4 for wall studs 16" O.C
- 2x8 top plate. (Cottage Shed only gets 2x8 on back. Double 2x4 on the front)
- 50 year 3/8" Smart Panel © 8" O.C. Siding

Roof system:

- 2x4 for all trusses
- 2x4 truss plates on all truss joints
- 7/16" OSB for Roof Decking
- Premium full-length Ridge and Eave vents
- Brown Drip edge
- Dimensional Weathered Wood Shingles
- Hurricane Ties at truss/top plate
- Roof pitch 5/12

Loft System *(Lofted Barns only)*

- Loft Joists:
- 8', 10', 12' and 14' wide use 2x6
- 16' wide use 2x8
- 7/16" OSB for Loft Decking

Trim/Windows/Doors:

- 1x Smart© Trim
- 6'x6' Double Barn doors
- Shutters and Flower Boxes on Windows
- Loft door trim only (nonfunctional)
- Black Powder Coated Heavy duty strap hinges (4 bolts and 2 lags per hinge)
- Black Powder Coated Heavy-duty handle
- The building is painted with Sherwin Williams Duration Satin Paint

CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN ACCESSORY BUILDING THAT EXCEEDS THE MAXIMUM ALLOWABLE SIZE ON A 0.1865-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK D, WATERSTONE ESTATES ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DEPICTED AND DESCRIBED IN EXHIBIT 'A' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Marlyn Roberts for the approval of a Specific Use Permit (SUP) to allow an *Accessory Building* that exceeds the maximum allowable size on a 0.1865-acre parcel of land being described as Lot 5, Block D, Waterstone Estates Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 323 Julian Drive, and being more specifically depicted and described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing an *Accessory Building* as stipulated by Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-20] -- as heretofore amended and as may be amended in the future --, and the following conditions:

2.1. OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Accessory Building* on the *Subject Property* and conformance to these conditions are required for continued operations:

- (1) The *Accessory Building* shall generally conform to the concept plan and the conceptual building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- (2) The *Accessory Building* shall not exceed a maximum size of 192 SF.
- (3) The subject property shall not have more than one (1) accessory building.

2.2. COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require compliance to the following:

- (1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 1ST DAY OF JUNE, 2020.

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: May 18, 2020

2nd Reading: June 1, 2020

Exhibit 'A'
Zoning Exhibit

Address: 323 Julian Drive

Legal Description: Lot 5, Block D, Waterstone Estates Addition



**Exhibit 'B':
Concept Plan**

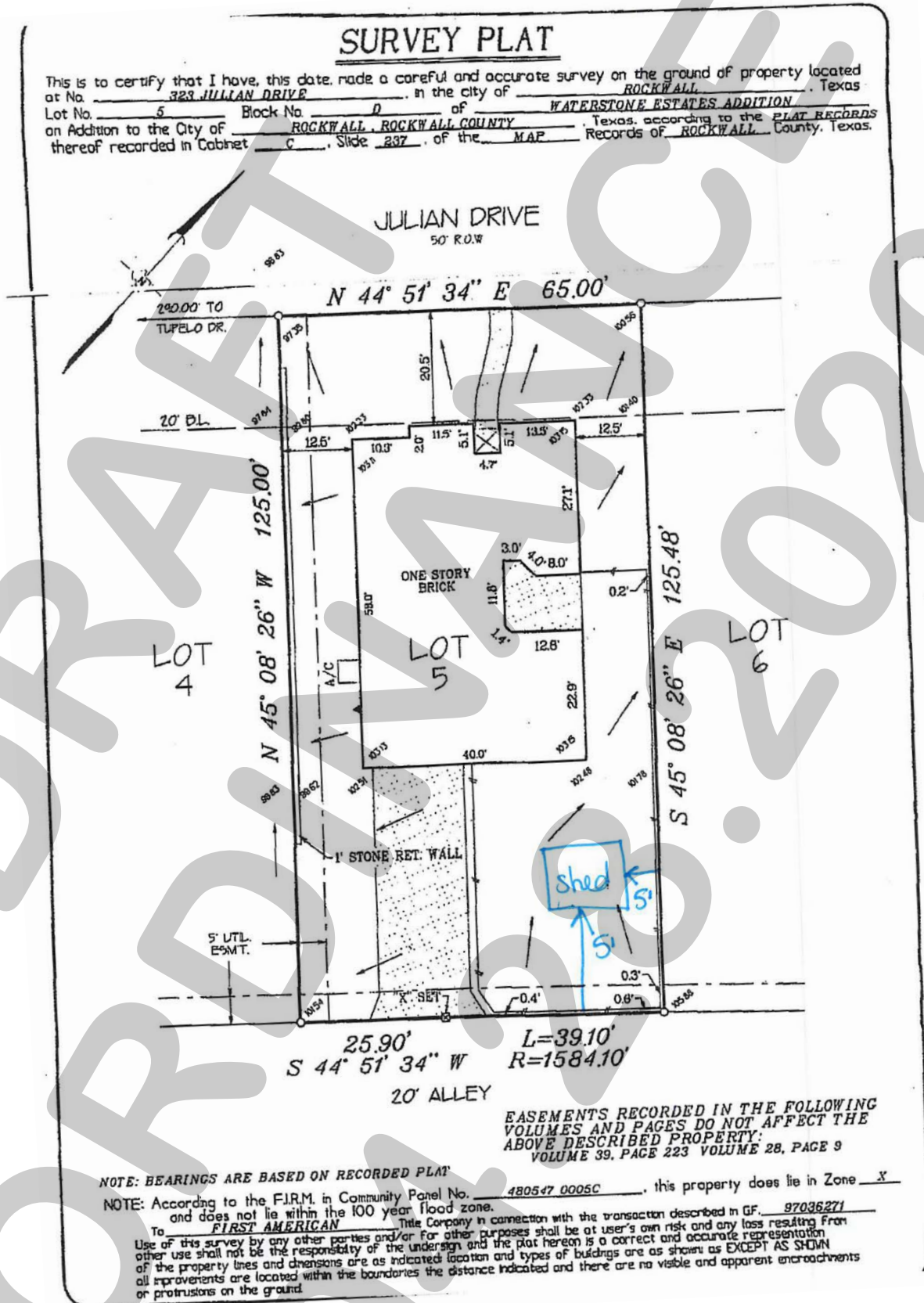
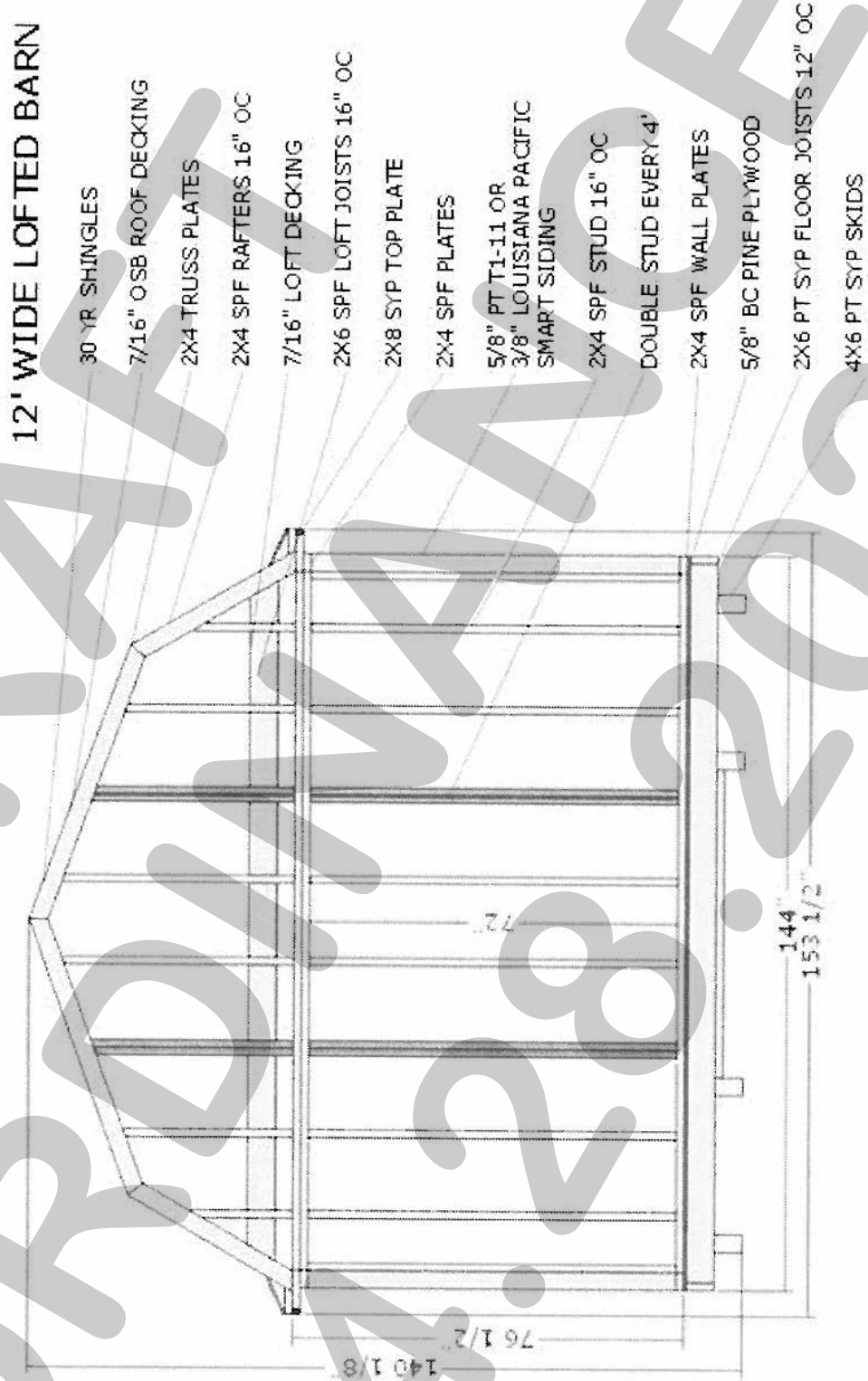


Exhibit 'C':
Conceptual Building Elevations



4/24/2020

City of Rockwall
Project Plan Review History



Project Number	Z2020-016	Owner	CHOATE, DAVID E ET UX			Applied	4/16/2020	AG
Project Name	SUP for 844 Zion Hill Circle	Applicant	Chris Kehrer			Approved		
Type	ZONING					Closed		
Subtype	SUP					Expired		
Status	P&Z HEARING					Status	4/23/2020	DG
Site Address			City, State Zip				Zoning	
	844 ZION HILL		ROCKWALL, TX 75087					
Subdivision		Tract		Block	Lot No	Parcel No	General Plan	
ZION ADDITION		8		B	8	5360-000B-0008-00-OR		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed	Status	Remarks
BUILDING	Russell McDowell	4/16/2020	4/23/2020				
ENGINEERING	Sarah Johnston	4/16/2020	4/23/2020	4/24/2020	8	APPROVED	
FIRE	Ariana Hargrove	4/16/2020	4/23/2020	4/21/2020	5	APPROVED	
PLANNING	David Gonzales	4/16/2020	4/23/2020	4/23/2020	7	COMMENTS	See comments

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(4/23/2020 5:29 PM DG) Z2020-0016; SUP for Guest Quarters/Secondary Living Unit and Carport – 844 Zion Hill Circle Please address the following comments (M= Mandatory Comments; I = Informational Comments)						
I.1 This is a request for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle.						
I.2 For questions or comments concerning this case please contact David Gonzales in the Planning Department at (972) 772-6488 or email dgonzales@rockwall.com.						
M.3 For reference, include the case number (Z2020-016) in the lower right-hand corner of all pages of all revised plan submittals (i.e. site plan and landscape plan).						
I.4 This project is subject to all requirements stipulated by the Article 04 & Article 05 the Unified Development Code (UDC) that are applicable to the subject property.						
M.5 Please review the draft ordinance when received by staff and provide comments to staff by May 5, 2020. Staff will review any comments returned and prepare a final draft ordinance for the Planning and Zoning Commission to consider prior to the Planning and Zoning Meeting (i.e. Public Hearing) to be held on May 12, 2020.						
M.6 Proposed Operational Conditions of the SUP. The following conditions pertain to the operation of a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport on the Subject Property, and conformance to these operational conditions is required for continued operations						
1) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall generally conform to the site plan and building elevations depicted in Exhibits 'B' & 'C' of this ordinance;						
2) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be utilized for a non-residential and/or non-agricultural land uses.						
3) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall be ancillary to the existing single-family home.						
4) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be altered so that the structure is greater than ~4,788-SF.						
5) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit and Carport shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).						
I.7 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on May 5, 2020; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the May 12, 2020 Planning & Zoning Meeting (i.e. Public Hearing).						
I.8 Please note the scheduled meetings for this case:						
1) Planning & Zoning Work Session meeting will be held on April 28, 2020.						
2) Planning & Zoning Public Hearing meeting will be held on May 12, 2020.						
3) City Council Public Hearing will be held on May 18, 2020. (1st Reading of Ordinance)						

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
4)						City Council meeting will be held on June 1, 2020. (2nd Reading of Ordinance)
I.9						Due to the current COVID-19 situation and the City's disaster declaration, the Planning and Zoning Commission Work Session Meeting will require a representative to answer the Planning and Zoning Commission's questions via Zoom (i.e. the meeting will be held as regularly scheduled, but will be closed to applicants and the public). Staff will provide instructions and link to Zoom prior to the meeting



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22020-016

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- ☐ Master Plat (\$100.00 + \$15.00 Acre)¹
- ☐ Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- ☐ Final Plat (\$300.00 + \$20.00 Acre)¹
- ☐ Replat (\$300.00 + \$20.00 Acre)¹
- ☐ Amending or Minor Plat (\$150.00)
- ☐ Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- ☐ Site Plan (\$250.00 + \$20.00 Acre)¹
- ☐ Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- ☐ Zoning Change (\$200.00 + \$15.00 Acre)¹
- ☒ Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- ☐ PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- ☐ Tree Removal (\$75.00)
- ☐ Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address 844 Zion Hill Circle
Subdivision Zion Hill
General Location Hwy 66 & CR 3549

Lot B Block B

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning SF 1 Current Use SF 1 Residential Private
Proposed Zoning NA Proposed Use Residential Private
Acreage 1 Acre Lots [Current] Lots [Proposed]

☐ **SITE PLANS AND PLATS:** By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ Owner David Cheate
Contact Person David Cheate
Address 844 Zion Hill Circle

☒ Applicant Titan Contractors
Contact Person Chris Kehrer
Address 410 Normandy Ln

City, State & Zip Rockwall, TX 75087
Phone 214-869-3318
E-Mail Alertdrain@yahoo.com

City, State & Zip Heath, TX 75032
Phone 214-900-2517
E-Mail Chris@TitanContractors.net

NOTARY VERIFICATION [REQUIRED]

Before me, the undersigned authority, on this day personally appeared David Cheate [Owner] the undersigned, who stated the information on this application to be true and certified the following:

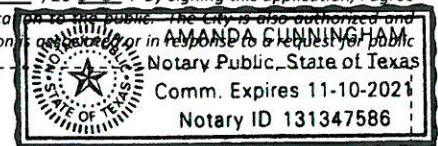
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$215.00, to cover the cost of this application, has been paid to the City of Rockwall on this the 7 day of April, 2020. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is requested or in response to a public information request."

Given under my hand and seal of office on this the 7 day of April, 2020.

Owner's Signature David E. Cheate

Notary Public in and for the State of Texas

Amanda Cunningham



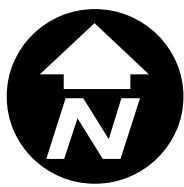
My Commission Expires 11-10-2021



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75032
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

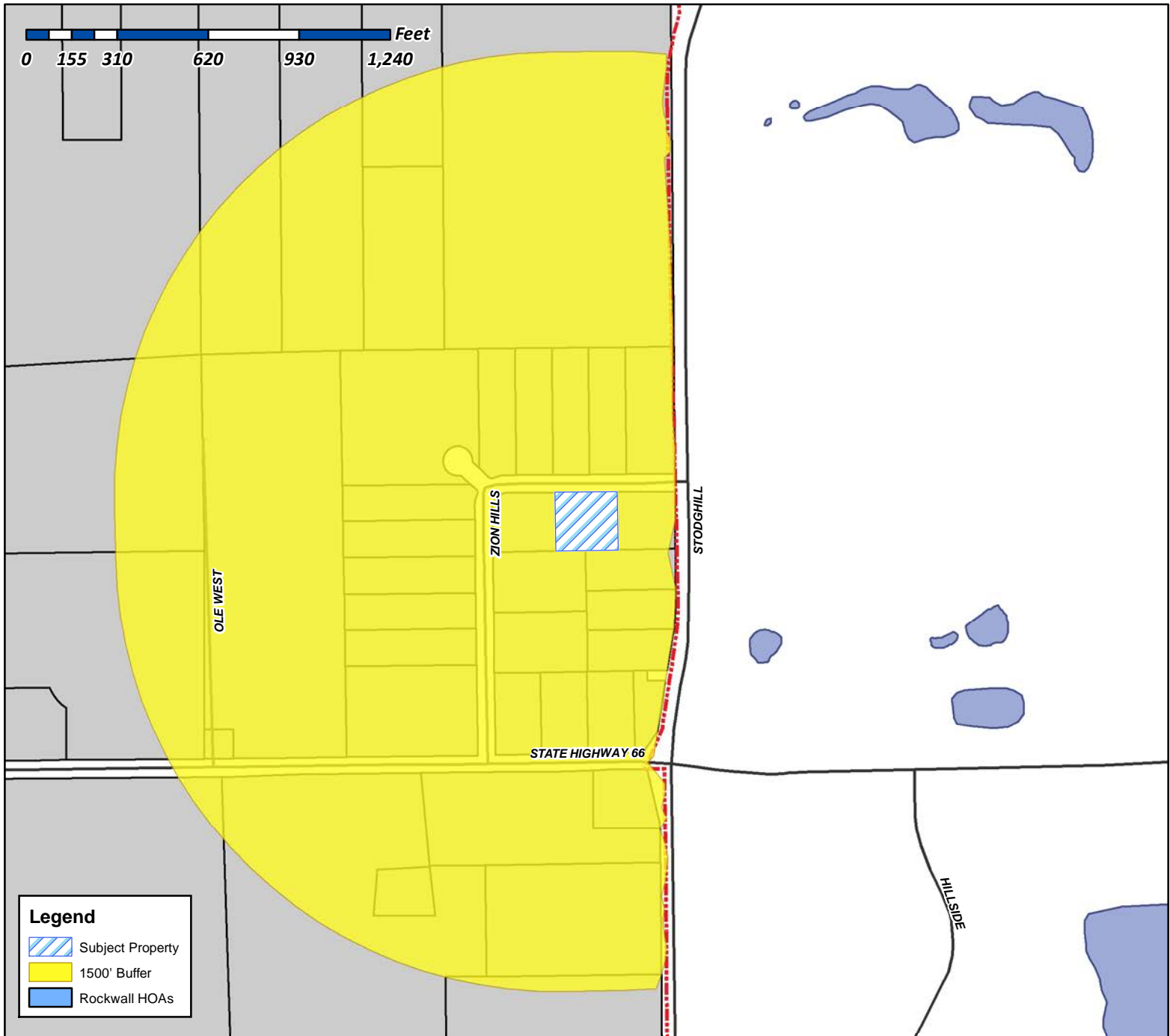




City of Rockwall

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385 S. Goliad Street
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(P): (972) 771-7745
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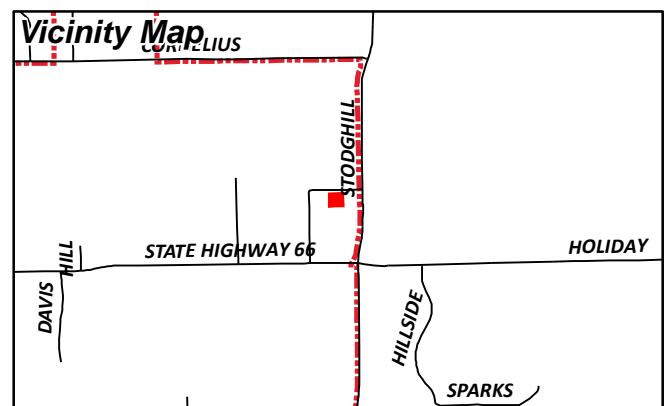
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Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle

Date Created: 4/20/2020

For Questions on this Case Call (972) 771-7745

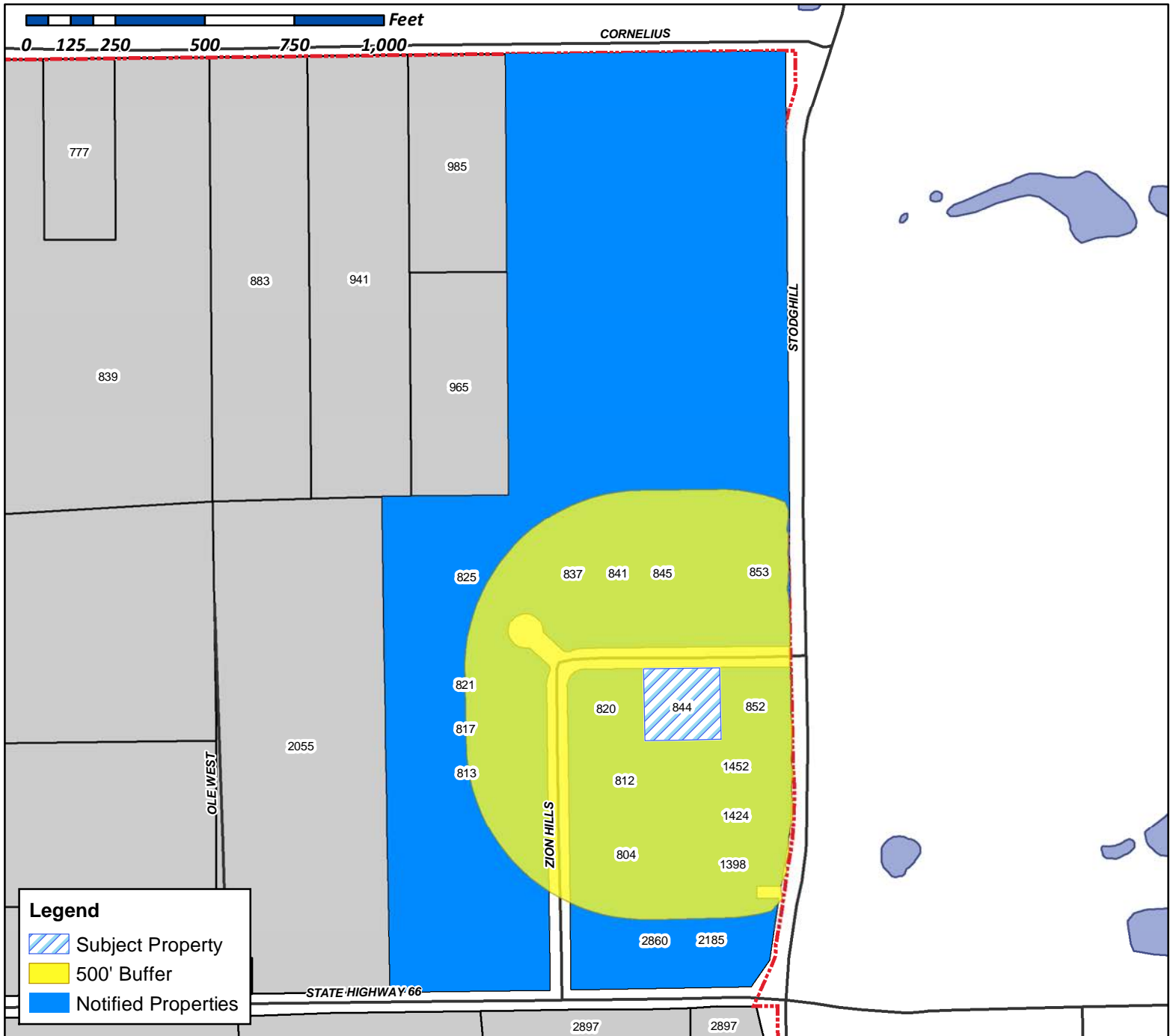




City of Rockwall

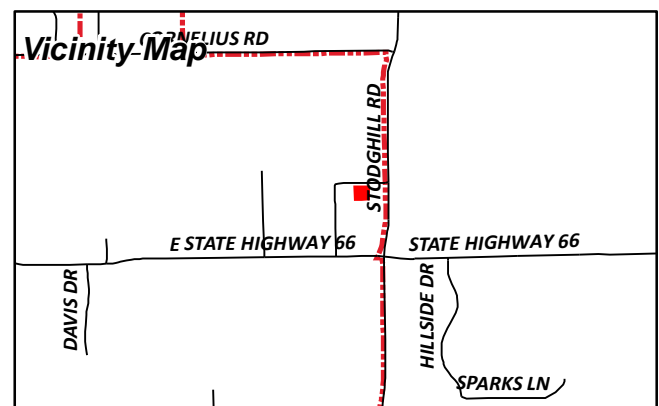
Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
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Case Number: Z2020-016
Case Name: SUP for 844 Zion Hill Circle
Case Type: Zoning
Zoning: Single-Family 1 (SF-1) District
Case Address: 844 Zion Hill Circle

Date Created: 4/20/2020
For Questions on this Case Call (972) 771-7745





NOTICE OF PUBLIC HEARING

CITY OF ROCKWALL, PLANNING & ZONING DEPARTMENT

PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

To Whom It May Concern:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Hold a public hearing to discuss and consider a request by Chris Kehrer of Titan Contractors on behalf of the owner David Choate for the approval of a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit that does not conform to the requirements of the Unified Development Code (UDC) on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on **Tuesday, 5/12/2020 at 6:00 p.m.**, and the City Council will hold a public hearing on **Monday, 5/18/2020 at 6:00 p.m.** Both hearings will take place virtually and be available for viewing online via "Zoom".

In compliance with CDC recommendations regarding social distancing and in accordance with state and local proclamations limiting the size of public gatherings, these meetings will be held virtually and not in person. As an interested property owner, you are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. Alternatively, you may fill out and return this form to:

David Gonzales
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

All comments received by staff will be read into the record during each of the public hearings. Alternatively, interested parties may participate in the meeting virtually through "Zoom". For instructions on how to participate please email Planning@rockwall.com. For all questions concerning these cases or the City's new virtual meeting format, please contact the City of Rockwall Planning and Zoning Department staff at (972) 771-7745.

Your comments must be received by **5/18/2020** to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning

USE THIS QR CODE
TO GO DIRECTLY
TO THE WEBSITE



MORE INFORMATION ON THIS CASE CAN BE FOUND ON THE CITY'S WEBSITE:
[HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases)

— — — PLEASE RETURN THE BELOW FORM — — —

Case No. Z2020-016: SUP for 844 Zion Hill Circle

Please place a check mark on the appropriate line below:

- ☐ I am in favor of the request for the reasons listed below.
- ☐ I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be

CURRENT RESIDENT
1398 FM 3549 STODGHILL #3210
ROCKWALL, TX 75087

WEYGANDT DIANE M AND
MEGAN WOOD
1424 N FM 3549 STODGHILL ROAD
ROCKWALL, TX 75087

BROWN JEFFREY C & LISA
1452 FM 3549 STODGHILL RD
ROCKWALL, TX 75087

VECELLIO FRANCIS
1470 S JOHN KING BLVD #3210
ROCKWALL, TX 75032

CURRENT RESIDENT
2185 WILLIAMS
ROCKWALL, TX 75087

CURRENT RESIDENT
2860 HWY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

TA LAND HOLDINGS LLC
2897 STATE HIGHWAY 66
ROCKWALL, TX 75087

KEMP MARY CAYCE ERSKINE WILLIAMS
4501 EDMONDSON AVE
DALLAS, TX 75205

LAKE RAY HUBBARD BIBLE CHURCH
INC
801 ZION HILL CIR
ROCKWALL, TX 75087

WHITE CHRISTOPHER AND CLAUDIA
804 ZION HILL CIR
ROCKWALL, TX 75087

KIRK JEREMY C AND STEPHANIE A
812 ZION HILL CIR
ROCKWALL, TX 75087

LE THAO THI PHUONG HONG
813 ZION HILL CIR
ROCKWALL, TX 75087

CODY OLIVIA L & STEPHEN H
817 ZION HILL CIR
ROCKWALL, TX 75087

FITZPATRICK ORAL L & BARBARA
820 ZION HILL CIR
ROCKWALL, TX 75087

MILLER CHARLES E & BETTY M
821 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
825 ZION HILL
ROCKWALL, TX 75087

MURPHY ROCKY SR & DEBRA J
837 ZION HILL CIR
ROCKWALL, TX 75087

HOLCOMB FRED G & CAROL
841 ZION HILL CIR
ROCKWALL, TX 75087

CHOATE DAVID E ET UX
844 ZION HILL CIR
ROCKWALL, TX 75087

AKARD DANNY AND CATHY
845 ZION HILL CIR
ROCKWALL, TX 75087

BROWN DAVID C & LINDA K
852 ZION HILL CIR
ROCKWALL, TX 75087

CURRENT RESIDENT
853 ZION HILL
ROCKWALL, TX 75087

WOODY JESSYE JEAN
PO BOX 315
FATE, TX 75132

LAKE RAY HUBBARD CHURCH
PO BOX 698
ROCKWALL, TX 75087

HARLE REUBIN E
PO BOX 912
ROCKWALL, TX 75087

SURVEY PLAT

TO ALL PARTIES INTERESTED IN PREMISES SURVEYED:—

This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No.

Zion Hills Circle in the City of Rockwall, being described

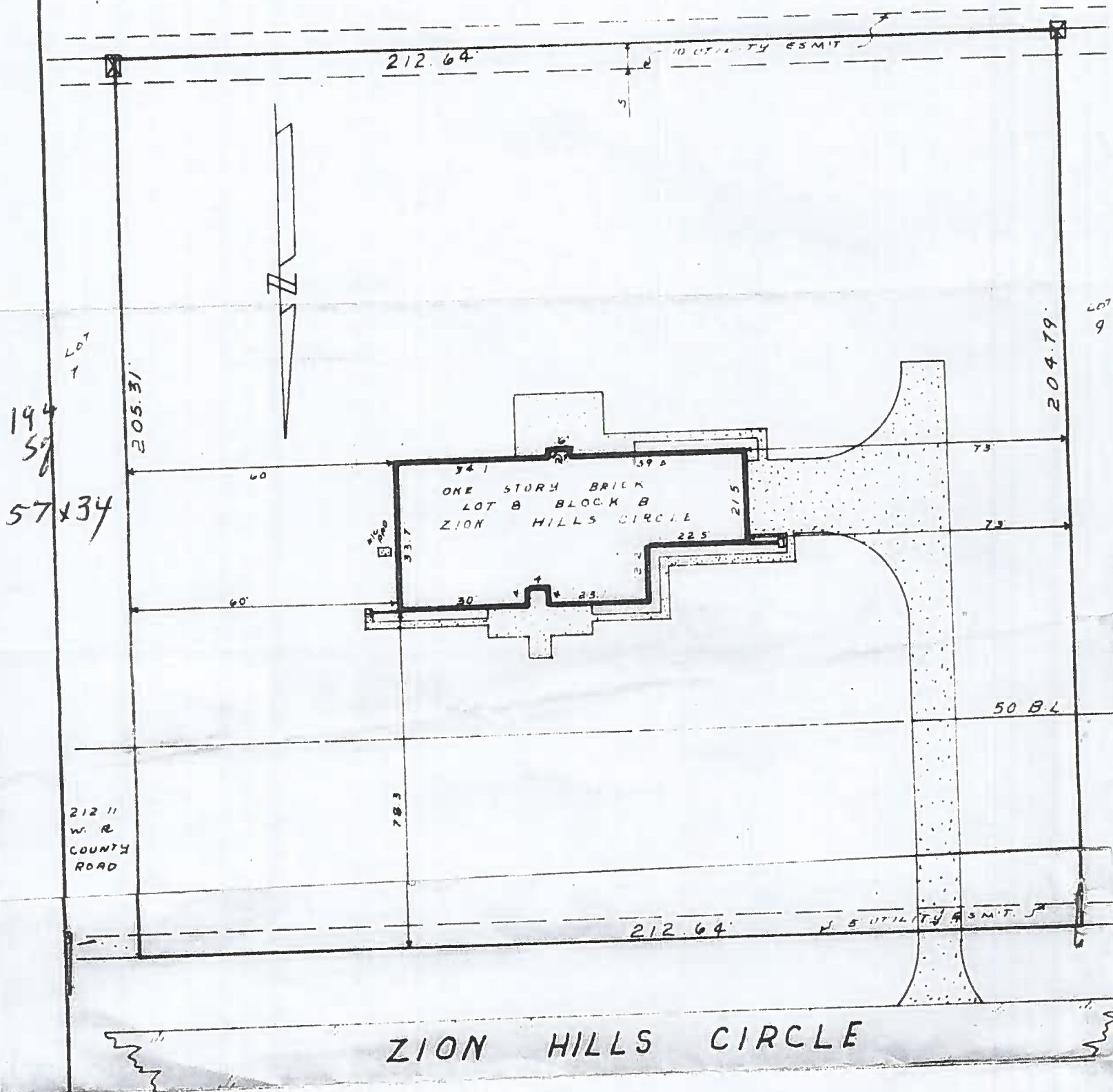
as follows:

Lot No. 8, Block No. P, City Block No.

of Zion Hill Estates, an addition to the City of Rockwall

Texas, according to the Filed plat thereof recorded in Vol. , at page 23 of the Plat

Map Deed Records of Rockwall County, Texas

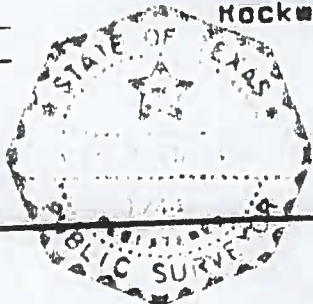


The plat hereon is a true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location, and type of buildings and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distances indicated, and that the distance from the nearest intersecting street, or road, is as shown on said plat.

THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN

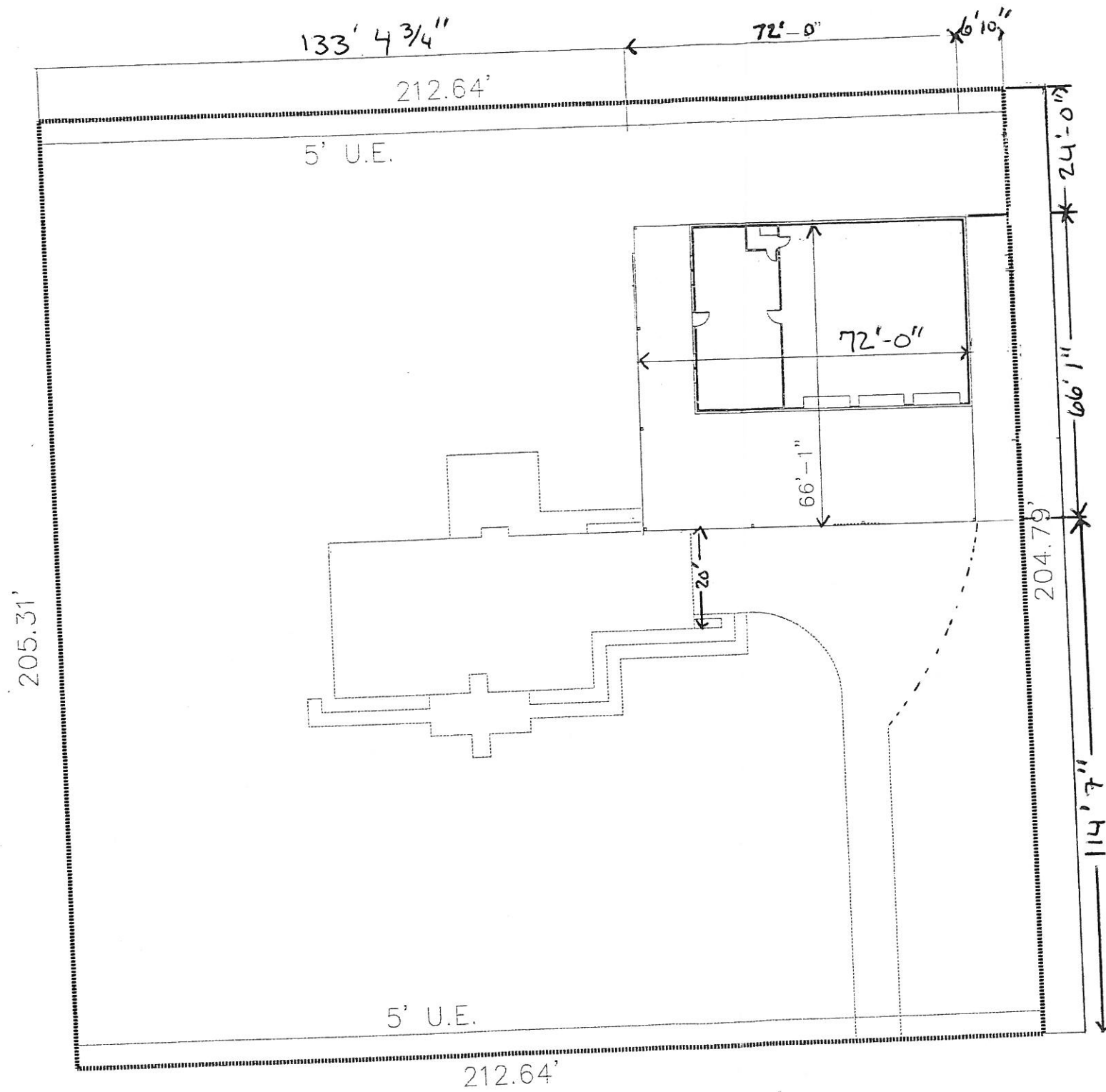
SCALE: 1" = 30'
DATE: 5-10-79
RE-SURVEY:

Bob O. Brown Land Surveyor
302 N. 1st St. Rockwall, Texas 75087
Rockwall 722-3036 Dallas 226-7522



Bob O. Brown
Registered Public Surveyor

DRAWN	CHECKED
<u>W. L.</u>	



Setbacks

These plans are intended to provide the basic construction information necessary to substantially complete the project in conformity for use. Any discrepancy or omission, if found, is to be brought to the attention of the project manager for clarification. All local codes, ordinances, and regulations are to be followed. It is the responsibility of the contractor to obtain all necessary permits and to comply with all applicable laws, rules, and regulations. It is the responsibility of the contractor to obtain all necessary permits and to comply with all applicable laws, rules, and regulations. It is the responsibility of the contractor to obtain all necessary permits and to comply with all applicable laws, rules, and regulations.

CENTERLINE
214-563-3127

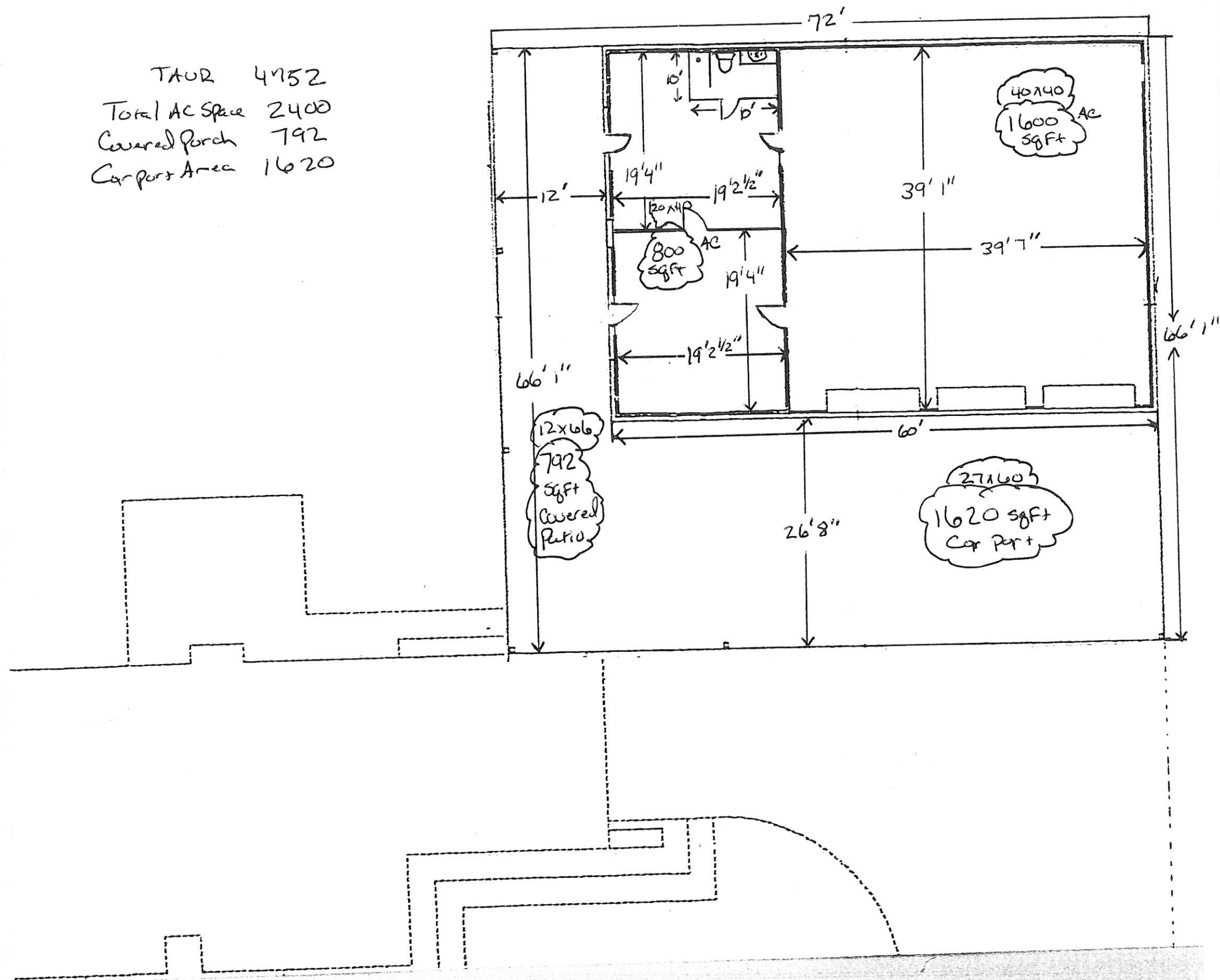
A RESIDENCE FOR THE
CHOATE
LOT 8 / BLOCK B
ZION HILLS CIRCLE
ROCKWALL COUNTY, TX

ISSUED DATE
7-29-13
DRAWN BY
CENTERLINE
REVISIONS

COPYRIGHT
2013

PP
3 of 3

TAUR 4752
 Total AC Space 2400
 Covered Porch 792
 Carport Area 1620



FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



FRONT ELEVATION



REAR ELEVATION



CITY OF ROCKWALL

ORDINANCE NO. 20-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW FOR A GUEST QUARTERS/SECONDARY LIVING UNIT/ACCESSORY DWELLING UNIT AND CARPORT FOR A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 8, BLOCK B, ZION HILL ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, ADDRESSED AS 844 ZION HILL CIRCLE AND BEING MORE SPECIFICALLY DEPICTED IN EXHIBIT 'A' OF THIS ORDINANCE, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Kris Kehrer of Titan Contractors for the approval of a Specific Use Permit (SUP) to allow a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on a one (1) acre parcel of land identified as Lot 8, Block B, Zion Hill Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 1 (SF-1) District, addressed as 844 Zion Hill Circle, and being more specifically depicted in Exhibit 'A' of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport*, as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Section 07, *District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02], on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth

in Subsection 03.01, *General Residential District Standards*, and Subsection 03.05, *Single-Family 1 (SF-1) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and as may be amended in the future --, with the following additional conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* on the *Subject Property* and conformance to these conditions is required for continued use of the structure:

- 1) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall generally conform to the site plan and building elevations depicted in *Exhibits 'B' & 'C'* of this ordinance.
- 2) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall be ancillary to the existing single-family home and not be utilized for a non-residential land use.
- 3) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* shall not exceed 2,345 SF.
- 4) The *Carport* shall not be exceed 1,620 SF.
- 5) The accessory structure shall not exceed 4,755 SF in total size.
- 6) No additional accessory structures shall be permitted on the *Subject Property*.
- 7) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* shall not be sold or conveyed separately without meeting the requirements of the Unified Development Code (UDC).
- 8) The *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* and *Carport* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02] will require compliance to the following:

- 1) Upon obtaining a building permit, should the homeowner fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC), the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 2.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC).

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS* (\$2,000.00) for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 1ST DAY OF JUNE, 2020.**

Jim Pruitt, *Mayor*

ATTEST:

Kristy Cole, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

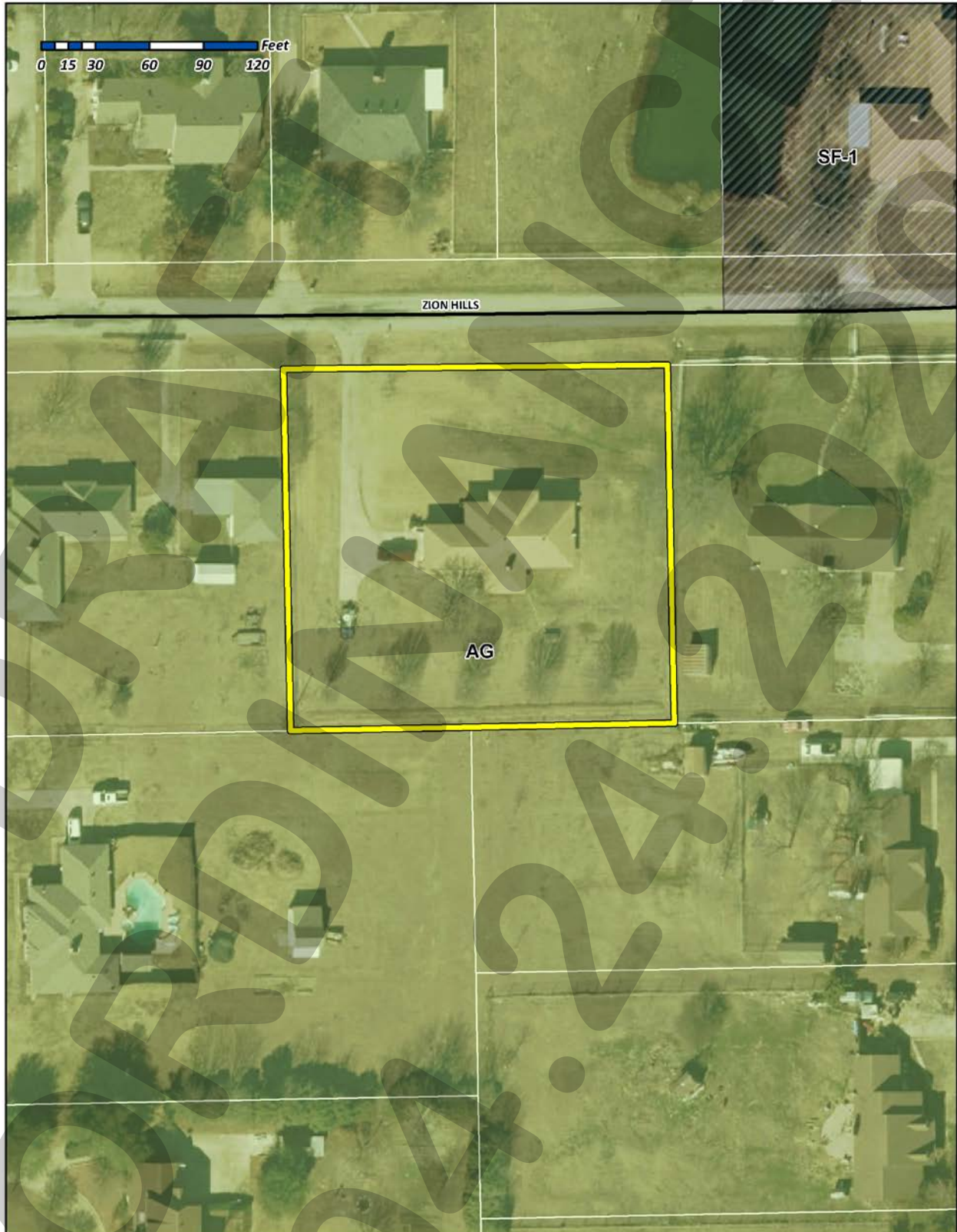
1st Reading: May 18, 2020

2nd Reading: June 1, 2020

Exhibit 'A'
Zoning Exhibit

Address: 844 Zion Hill Circle

Legal Description: Lot 8, Block B, Zion Hill Addition



[illegible][illegible]

Exhibit 'C'
Building Elevations



Exhibit 'C'
Building Elevations

